

# Request for Proposals

Conway Street Park North Plaza

Date Released: May 14, 2025

Responses Due: June 4, 2025 at 5:00 pm

The South Baltimore Gateway Partnership (SBGP) is an economic development authority working within a collection of neighborhoods across south and southwest Baltimore known as the South Baltimore Gateway Community Impact District. Under the SBGP strategic plan, the organization focuses on implementing three crucial elements of the 2015 South Baltimore Gateway Master: Plan Environmental Sustainability, Health and Wellness, and Community Development and Revitalization. More information about SBGP can be found at [www.sbgpartnership.org](http://www.sbgpartnership.org).

## I. PROPOSAL SUMMARY

### A. Project Description

SBGP will receive preliminary bid proposals for paving and sidewalk improvements, earthwork/regrading, minimal utility work, restoration of urban soils, and tree preservation and landscaping enhancements of the existing city-owned open space lot in the North Plaza of Conway Street Park, located at 610 W. Conway Street in Baltimore City, MD until Wednesday, June 4, 2025 at 5:00 pm. Design for the existing North Plaza open space lot has been divided into two project sites (project areas are each less than 5,000 square feet and 100 cubic yards of disturbance) which are referred to as **Site 1: On-Site Parcel** and **Site 2: Right-of-Way (R.O.W.) Parcel**. The Bid Set Contract Documents (CDs) are attached herein. Please refer to the Bid Set CDs for location and details of Site 1 and Site 2. Construction is to occur concurrently for Site 1 and Site 2. The contractor shall ensure that the total limit of earthwork disturbance does not exceed 100 cy or 5000 sf at any given time.

Contractors are to submit one combined bid proposal for the two project sites. Contracts will only be awarded to contractors that submit bid proposals that include both sites. Proposals are to be submitted electronically to Khadeen Grant at [procurement@sbgpartnership.org](mailto:procurement@sbgpartnership.org). SBGP, hereinafter called the Developer, reserves the right to reject any and all Proposals and waive any formality or technicality in any proposal in the interest of the Developer.

### B. Project Developer

Attn: Khadeen Grant, Enhanced Services Director, South Baltimore Gateway Partnership  
Address: 101 W. Dickman Street, Suite 1000, Baltimore, MD 21230  
Phone: (410) 424-7593  
Email: [procurement@sbgpartnership.org](mailto:procurement@sbgpartnership.org)

### C. Project Landscape Architect/Prime Consultant

Heidi Thomas, PLA, ASLA, EnviroCollab

Address: 111 E. 25<sup>th</sup> Street, Suite 1A, Baltimore MD 21218

Phone: (443) 956-9278

Email: hthomas@envirocollab.com

### D. Project Civil Engineer/Sub-Consultant

Kelly Lindow, PE, CityScape Engineering, LLC

Address: 3600 Clipper Mill Road, Suite 214, Baltimore, MD 21211

Phone: (410) 601-3290

Email: kelly@baltimorecityscape.com

### E. Project Background

The North Plaza at Conway Street Park, located at 610 W. Conway Street, is a small park/plaza in the Ridgely's Delight neighborhood. Known for its brick rowhomes created in the mid-19th century, Ridgely's Delight is bordered by Russell and Greene Streets to the east, West Pratt Street to the north, and Martin Luther King Jr. Boulevard to the west.

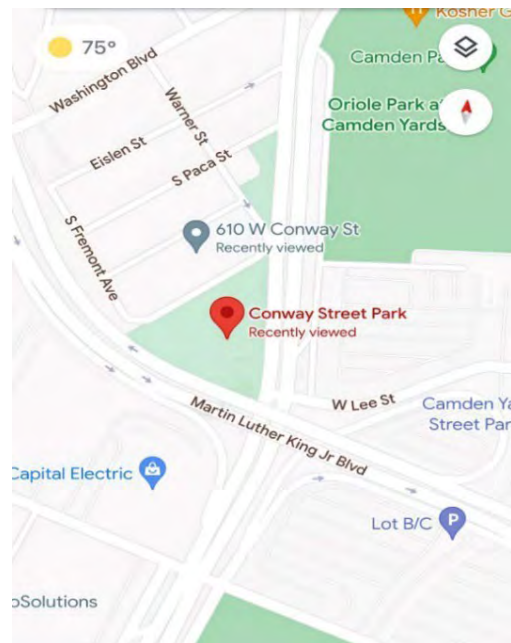


Figure 1: Geographic Location



In the 1970s/80s, brick paving was added to the neighborhood in conjunction with the redesign of Martin Luther King Jr. Blvd. At that time, a large percentage of the neighborhood consisted of vacant properties and the State had claimed many of them through eminent domain. Everything south of Conway Street was torn down to create the highway right of way. Some of the area became Conway Street Park and the State planted trees and put in brick sidewalks on the North Plaza side of the park.

The community today consists of young professionals that commute using transit systems, families, and longtime residents, renovated homes and green spaces, and an active community association.

Conway Street Park is approximately 70,666 square feet and the adjoining North Plaza on the north/residential side is 6,800 square feet. The North Plaza On-Site parcel (Site 1) contains 10 existing trees of varying species, 7 of which will be removed, with 3 trees to be retained/protected as part of this project. The North Plaza ROW parcel (Site 2) has 10 existing Bradford Pear trees, 6 of which will be removed, with 4 trees to be retained/protected for this project. The plaza is currently in disrepair, with broken brick caused primarily from protruding tree roots and a presumably unstable/insufficient brick paving base/subbase.



*Figure 3: Current condition of brick plaza (Site 2)*



*Figure 2: Grassy area (Site 1) with existing trees*

Conway Street Park currently hosts community events such as movie nights, “National Night Out,” Orioles Opening Day (an annual tradition), graduation parties, and occasional kid birthday parties. Members of the community currently host monthly meetings and would like to have a comfortable gathering area made available for daily use, as well as programmed events.

## F. Project Goal

The purpose of this project is to perform paving and sidewalk improvements, earthwork/regrading, minimal utility work, restoration of urban soils, and tree preservation and landscaping improvements to two (2) projects sites: Site 1) On-Site Parcel at 610 W. Conway Street, and Site 2) Right-of-Way (R.O.W.) Parcel along the 600 block of W. Conway Street. Upon completion of the site improvements, the Contractor shall water the plants thoroughly and seed all disturbed areas around the planting bed. The Contractor shall provide maintenance and warranty coverage of the new vegetation for a period of 24 months following the approved installation date.

## G. Scope of Work

All work shall be performed according to the Conway Street North Plaza Site Improvements Construction Bid Set Drawings, herein called the Contract Documents (CDs), which includes Civil Engineering, Electrical Engineering, and Landscape Architecture drawings and specifications for Site 1: On-Site Parcel, and Civil Engineering and Landscape Architecture drawings and specifications for Site 2: R.O.W. Parcel.

The contractor shall secure three final permits for the work as follows:

- Site Grading permit from the Department of Housing & Community Development (ePlans). This permit covers work to be performed at Site 1.
- Temporary Use of the right-of-way permit from the Department of Transportation. This permit covers work to be performed at Site 2.
- Utility Enterprise permit from the Department of Public Works. This permit covers the new water service as shown on the Site 2 drawings.

Preliminary permit applications have been submitted to the City for review. The selected Contractor shall coordinate with the Developer, Landscape Architect and/or Engineer to secure the final permits in their company name and pay the final permit fees. The contractor will be responsible for providing a traffic control plan to accompany the temporary use of the right-of-way permit application.

Contractors are to submit a combined bid proposal for both project sites (Site 1 and Site 2). Bids shall include all materials and installation for construction of the required demolition and hauling, earthwork and regrading, utility installation (water and electrical), urban soil restoration, tree preservation, landscaping/hardscaping, paving, and right of way improvements in compliance with Baltimore City rules and regulations. The Contractor is responsible for delivering as-built soil test results within



the specified soil restoration metrics and maintenance of the landscaping for 2-years post-construction.

The Developer shall withhold 10% of the full contract amount as a performance bond until (a) the soil test results have been approved by the Project Landscape Architect, and (b) at least 90% of planting units (PUs) have survived after 1-year of installation date.

The CDs are pending final review and approval from Baltimore City Permitting Agencies, anticipated July 2025. Preliminary bids shall be prepared based on the Bid Set CDs (provided herein). The Developer will coordinate with the selected Contractor to prepare a final construction price based on any revisions/updates to approved Final CDs.

#### **H. List of Qualified Assumptions**

1. This is a Lump Sum project to be constructed according to the design specifications, and the Contractor assumes all risk for price and cost control. The Contractor will be responsible for facilitating compliance inspections with the Project Landscape Architect and Engineer once the project begins. Any questions about the scope of work should be clarified before a bid is submitted.
2. The Contractor shall be responsible for securing the final construction permits. These permits must be obtained prior to beginning any work. The selected Contractor shall coordinate with the Developer, Landscape Architect and/or Engineer to secure the final permits in their company name and pay the final permit fees.
3. Work to install the proposed water service must be performed by a city-approved bonded drain layer. This work will require a utility enterprise (UE) permit to be secured by the bonded drain layer.  
Note: The Engineer has prepared a draft UE permit for the proposed service.
4. The Contractor will be responsible for providing a traffic control plan to accompany the temporary use of the right-of-way application.
5. The Contractor must assign and employ a Responsible Personnel with an active green card for ESC for the duration of the project. The Contractor's Responsible Personnel must attend the Pre-Construction Meeting.
6. Contractor shall provide product data, cut sheets, materials samples, mockups, and shop drawings in accordance with the specifications included in the CDs, including:
  - a. Delivery tickets
  - b. Photo documentation
  - c. Lab reports

7. It is the Contractor's responsibility to contact miss utility at 1-800-257-7777 at least 5 days prior to beginning excavation to determine the location of existing utilities.
8. The Contractor shall mark and notify the Project Landscape Architect, Project Engineer, and Developer at least 24 hours prior to removing any trees.
9. Following the removal of any trees approved by the Landscape Architect, the Contractor will plant trees counting towards tree mitigation in the adjacent Conway Street Park, located at 601 W. Conway Street Park. The Contractor will be responsible for facilitating compliance inspections with the Project Landscape Architect once the project begins.
10. The Contractor will submit weekly progress reports via email to the Developer/Owner's Representative beginning the first Monday after the NTP is issued. Special notification of anticipated completion of all milestones and/or inspections requiring the Project Engineer or Landscape Architect, the Developer or its representatives, and/or government regulatory agency staff sign off must be submitted within 72 hours of the event.
11. Milestones requiring Developer/Owner's Representative, Project Landscape Architect, and Project Engineer's Inspection:
  - a. LOD Stakeout
  - b. Construction and Tree Protection Fence installation
  - c. Demolition & Tree Removal
  - d. Paving Area Layout
  - e. Paving Area Installation Completion
  - f. Placement of Soil Amendments
  - g. Planting Installation
12. Prior to project completion, the Contractor shall contact the Developer/Owner's Representative, Project Landscape Architect, and Project Engineer to perform a pre-final site inspection to develop a punchlist. A Final walkthrough and approval of mutually agreed-upon punchlist items is required before contract completion is achieved.
13. The selected Contractor shall warranty and provide maintenance and watering of the landscape plantings for 24 months after Substantial Completion of the project.

## **ii. BID PROCESS**

### **A. Pre-Bid Meeting and Questions**

A mandatory Pre-bid site meeting will be held on Wednesday, May 28,

2025 at 11:00 AM; meet onsite at 610 W. Conway Street, Baltimore, MD 21230. Please RSVP to [procurement@sbgpartnership.org](mailto:procurement@sbgpartnership.org) even if you are unable to attend but wish to be considered for the proposal. Pre-bid questions should be sent to the Developer email address below. Questions will be addressed prior to the Bid Submission Due Date or other appropriate time, as determined by Developer. Responses will be communicated either privately or publicly, at the Developer's discretion.

Any questions during the RFP process can be directed to Khadeen Grant, [procurement@sbgpartnership.org](mailto:procurement@sbgpartnership.org).

## **B. Bid Selection**

Bids are due no later than 5:00 PM on Wednesday, June 4, 2025.

Email bids to: Khadeen Grant, [procurement@sbgpartnership.org](mailto:procurement@sbgpartnership.org).

## **C. Contractual Awards**

The successful bidder is expected to enter into a formal contract with the Developer.

Bids shall remain fixed for a period of 90 days following the receipt of bids. The Developer will coordinate with the selected Contractor to prepare a final construction price based on any revisions/updates to approved Final CDs.

The anticipated start date for construction is July/August 2025, with landscaping to occur no earlier than September 2025.

## **III. Bid Instructions**

**Contractors are to submit a combined bid proposal for both project sites (Site 1: On-site Parcel and Site 2: Right-of-Way (R.O.W.) Parcel). Contracts will only be awarded to Contractors that submit bid proposals for both sites.**

Each respondent must comply with the submission requirements as outlined in this RFP. Submittals that fail to comply with the requirements as specified may be deemed non-responsive and such determination will result in no further consideration of that respondent or the respondent's submittals by the Client. At any stage, the Client reserves the right to terminate, suspend, or modify this selection process; reject any or all submittals at any time; and waive any informalities, irregularities, or omissions in submittals, as the best interests of the Client may require.

No responding firm / Prime Contractor may submit more than one proposal.

#### **A. Minimum Requirements for Bid Proposals**

All contractors' bid proposals must include, at a minimum:

1. Contact information:
  - a. NAME OF CONTRACTOR
  - b. ADDRESS OF CONTRACTOR
  - c. POINT OF CONTACT AND TITLE
  - d. CONTACT EMAIL AND PHONE NUMBER
2. A detailed cost estimate broken out by line item, quantity, and unit cost:
  - a. PRICE FOR PAVEMENT DEMOLITION AND SITE CLEARING
  - b. PRICE FOR EROSION & SEDIMENT CONTROLS
  - c. PRICE FOR UTILITY WORK (WATER LINE & ELECTRIC CONNECTIONS)
  - d. PRICE FOR URBAN SOIL RESTORATION
  - e. PRICE FOR PROPOSED LANDSCAPING & HARDSCAPING
  - f. TOTAL LUMP SUM PRICE FOR PROJECT
  - g. ALLOWANCE FOR MAINTENANCE (SEE NOTE 4 BELOW)
3. Contractor's Certificate of Insurance. The Contractor shall procure and maintain during the life of this agreement:
  - a. Worker's Compensation coverage as required by the State of Maryland.
  - b. Commercial Liability Insurance at a limit of not less than Two Million Dollars (\$2,000,000)
4. Contractors are to include an allowance for irrigating and weeding the landscaping for 2-years post-construction. Assume a minimum of 28 events for irrigation and a minimum of 6 events for weeding/pruning over 24 months.
5. Contractors are to include an additional estimate for mitigating any trees removed on-site with newly planted trees on the adjacent Conway Street Park site (601 W. Conway Street).
6. Portfolio of three (3) examples of similar work the company/organization has done while in a similar capacity as a Prime Contractor. Please list three similar projects and references with phone numbers.
7. Sub-contractors: List of any sub-contractors proposed to be assigned to the project, summarizing in one paragraph, for each sub-contractor, the proposed role within the project team and relevant qualifications.
8. A disclosure of any actual, potential, or perceived conflicts of interest.

#### **B. Additional Responsibilities**



Respondents will also be responsible for implementation:

1. Obtain any required permits.
2. Hire and manage any relevant sub-contractors.
3. Coordinate with Baltimore City Department of Transportation, Baltimore City Department of Housing & Community Development, Baltimore City Department of Recreation & Parks Forestry and Capital Division on project.

### C. Proposal Formatting

Submissions should be formatted in PDF and received no later than June 4, 2025, at 5:00 PM.

Email qualifications to  
Khadeen Grant, Enhanced Services Director, at  
[procurement@sbgpartnership.org](mailto:procurement@sbgpartnership.org).

Oral, telephonic, hard copy, or faxed documents are invalid and will be considered as non-responsive.

### D. Timeframes for Submission and Implementation RFP

Released:	May 14, 2025
RFP Responses Due:	June 4, 2025, at 5:00 pm
Selection Made:	June 16, 2025
<u>Mandatory</u> RFP Conference:	May 28, 2025

Work is expected to begin once contract is executed, and final schedule is approved. Contract will be valid for one year after date of execution with option to renew.

Mandatory RFP Conference  
May 28, 2025  
11:00 am

To register, email [procurement@sbgpartnership.org](mailto:procurement@sbgpartnership.org).  
Deadline to register: May 23, 2025  
Subject Line: Conway Street Park Conference

## IV. Proposal Evaluation and Contract Award

### A. Evaluation Process

Qualifications will be reviewed by SBGP staff. The reviewer(s) will check responses against the criteria below. Responses not meeting the criteria will not be considered for review. Responses meeting the criteria may be contacted for subsequent interview(s) prior to final selection.

The goal of all SBGP contracting and procurement is to ensure the best

use of public funds to serve the public good by fulfilling SBGP's mission while adhering to the highest standards of professional and ethical behavior. SBGP is committed to ensuring that all funds entrusted to the entity are appropriately allocated using fair, ethical, competitive, consistent, equitable, reasonable, responsible, and transparent practices that demonstrate integrity.

These values guide all SBGP conduct and decision making related to procurements, bids/estimates for goods and services, agreements, contracts, and related forms of commitments.

Based upon this review, the panel will then identify the respondent that most closely meets the qualifications required for the execution of this project. Teams will be notified of the result by approximately June 16, 2025.

## B. Evaluation Criteria

1. Demonstrated experience in the construction, permitting, budgeting, implementation, and stewardship of parks and public spaces.
2. Demonstrated experience in addressing construction challenges with an eye towards sustainability.
3. Demonstrated experience working with diverse communities.
4. Proven capacity to deliver projects on time and on budget.
5. Experience with permitting and construction in Baltimore City, and specifically with Baltimore City Department of Housing & Community Development, Baltimore City Department of Transportation, and Baltimore City Recreation and Parks.

Scoring Matrix:

	Max. Points
Qualifications and Experience of Team	40
Examples of Similar Past Projects	30
City-Certified M/WBE = 10 Other M/WBE = 5 Certified DBE = 1	20
Strong nexus in: SBGP District = 5 South/Southwest Baltimore = 4 City = 3 Greater Baltimore = 2	10
Total Available Points	100

### C. MBE/WBE Goals

The following statutorily required MBE/WBE goals apply to this contract:

27% MBE participation  
10% WBE participation

Any respondent that is not a Baltimore-City Certified Minority Business Enterprise (MBE) or Women's Business Enterprise (WBE) is expected to subcontract a portion of the work to certified firms.

### D. Impact Investments

While ultimately each vendor must be able to provide excellent products or services at a fair price, SBGP is committed to seeking out Impact Investments, including those that support minority- and women-owned businesses, local businesses, and social enterprises. Wherever feasible, SBGP will use these Impact Investments to further its mission by supporting local and minority- and women-owned businesses, associated hiring opportunities, community-driven social impact, and the local economy. Each of SBGP's contractual relationships is designed to expand its network and ability to access a strong pool of diverse vendors to meet SBGP's needs.

To carry out the goal of SBGP contracting and procurement, SBGP will:

1. Seek out opportunities to foster equal opportunities, minority- and women-owned businesses, and other Impact Investments.
2. Educate vendors about how to conduct business with SBGP.
3. Engage in a fair, ethical, competitive, consistent, equitable, reasonable, responsible, and transparent procurement process.

### E. Conflict of Interest

SBGP is a public body operating within a tightly defined geographic boundary with a large board of directors and a wide range of project partners across the private, public, and non-profit sectors. As a result, it is common for participants in one SBGP project to overlap with, or have personal or professional relationships with, participants in another SBGP project. While this is generally a benefit to the communities involved, it introduces the possibility of conflicts of interest.

SBGP takes seriously its role to avoid actual, potential, or perceived conflicts of interest. The respondent should disclose any such conflicts of interest in writing. The reviewer(s) will consider the nature of the respondent's responsibilities and the degree of potential or apparent conflict in deciding the course of action that the respondent needs to take to remedy the conflict of interest.

### F. Equal Opportunity

SBGP will not discriminate in its procurement regarding race, ethnicity, religion, gender, sexual orientation, national origin, marital status, age, disability, or any other characteristic protected by law.

SBGP does reserve the right to select, from among a pool of qualified proposals, the one that best provides an opportunity to further its mission through Impact Investment.

#### **G. General Provisions**

Neither this solicitation nor any proposals provided in response to it constitute a contract between SBGP and the applicant.

The selected vendor(s) will be notified in writing and required to enter into a written agreement or contract with SBGP.

SBGP will notify vendors who were not selected in writing after a selection has been made, and an agreement has been signed.

Selected SBGP documents created or used during the selection process, including any score cards, notes, emails, memos, or other written materials, are internal materials and will not be made available.

Late responses, or responses that do not fully address the requirements of the RFP, will be disqualified.

SBGP may issue a new RFP, extend the deadline, or make other good faith efforts to expand the applicant pool if the market for goods or services is limited.



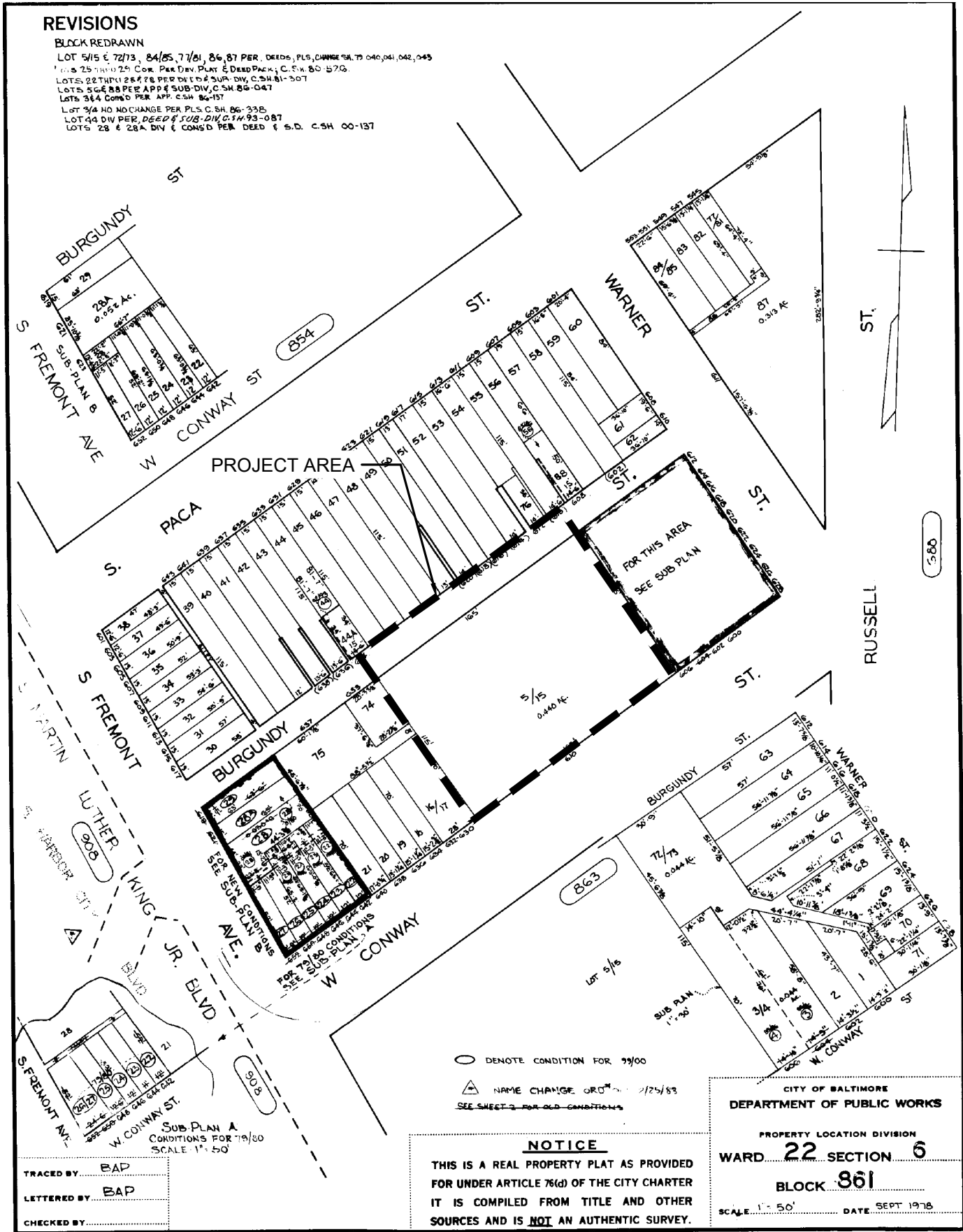
GENERAL NOTES:

- DESCRIPTION OF WORK:
  - PROVIDE AND INSTALL BRICK PAVING, STONE DUST PAVING, PLANTING MEDIA, MULCH, AND PLANTINGS
- RELATED WORK:
  - SELECTIVE TREE FELLING PER 31 13 13.03
  - REMOVAL OF EXISTING PAVEMENT, SIDEWALK, CURB, OR COMBINATION CURB AND GUTTER PER SECTION 02.41.13.16
  - SUBGRADE PREPARATION PER SECTION 31.23.13
  - BRICK MASONRY PER SECTION 04.21.13
  - ASPHALT PAVEMENT PER SECTION 32.12.16.13
  - INSTALL FURNISHINGS AND LIGHTING PER PLANS
- UNLESS OTHERWISE NOTED, ALL SITE WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE PLANS AND THE 2006 CITY OF BALTIMORE "DPW SPECIFICATIONS FOR MATERIALS, HIGHWAYS, BRIDGES, UTILITIES AND INCIDENTAL STRUCTURES."
- SOIL EROSION AND SEDIMENT CONTROL PROCEDURES, AS DEFINED IN THE BALTIMORE CITY STORMWATER MANAGEMENT MANUAL (MAY 2010) AND THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" SHALL BE STRICTLY ADHERED TO. CONTRACTOR SHALL EXERCISE CAUTION TO AVOID DAMAGE TO ALL INLETS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO BIDDING AND START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- WORK ON THIS SITE REQUIRES A GRADING PERMIT FROM THE BALTIMORE CITY DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT (ePLANS). THE LANDSCAPE ARCHITECT HAS SUBMITTED THESE DRAWINGS FOR PRELIMINARY REVIEW. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE FINAL GRADING PERMIT.
- SAFE PEDESTRIAN AND VEHICLE ACCESS TO HOMES AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.
- STREET SIGNS ARE TO REMAIN OR BE RESTORED TO ORIGINAL CONDITION OR BETTER. STREET SIGNS SHALL BE REPLACED IMMEDIATELY AFTER AREA IS BACKFILLED AND NO LATER THAN CLOSE OF EACH WORKDAY, EVEN IF REPLACEMENT IS ONLY TEMPORARY.
- CONTRACTOR SHALL PERMANENTLY STABILIZE ANY AREAS DISTURBED BY CONSTRUCTION, STORAGE, OR VEHICULAR MOVEMENT. THIS INCLUDES ANY INCIDENTAL ACTIVITIES NOT SHOWN ON THE DRAWINGS BUT ASSOCIATED WITH WORK. SOIL SHALL BE PREPARED AND SEEDED IN ACCORDANCE WITH THE PLAN SPECIFICATIONS.

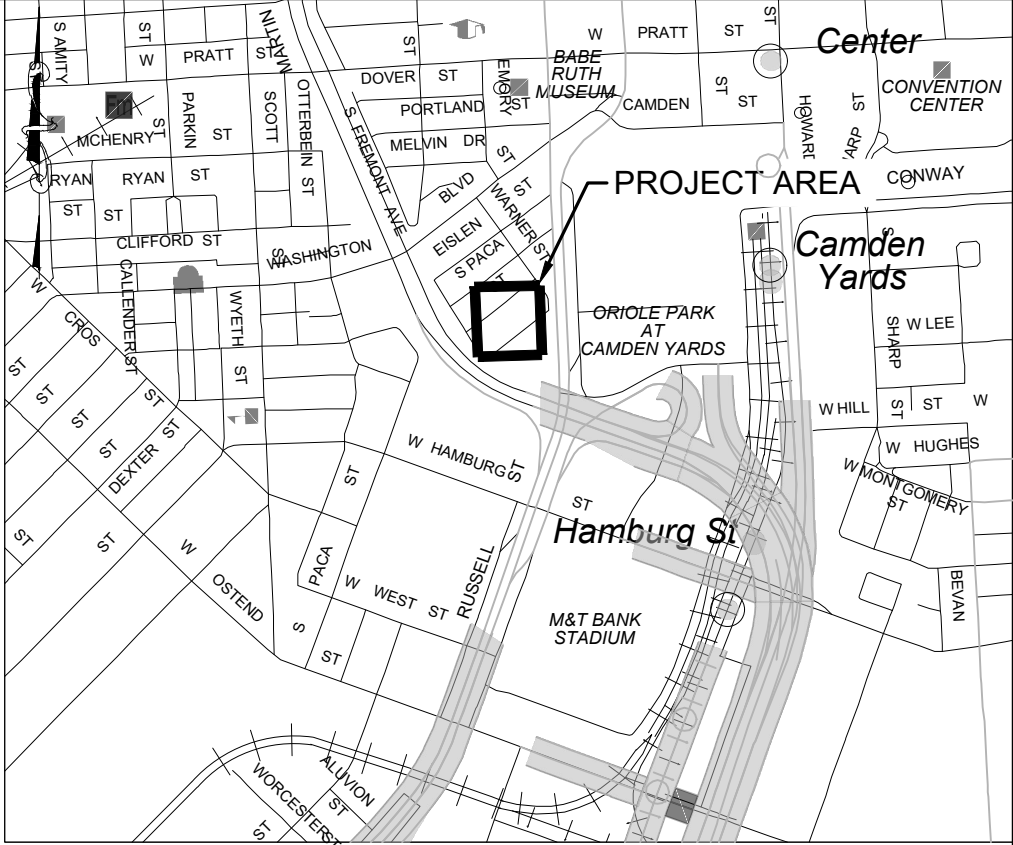
# CONWAY STREET NORTH PLAZA SITE IMPROVEMENTS SITE & LANDSCAPING PLANS



05/01/2025



PROJECT INFORMATION:  
OWNER: MAYOR & CITY COUNCIL  
ADDRESS: 610 W CONWAY STREET  
WATERSHED: BALTIMORE HARBOR  
WARD: 22  
SECTION: 060  
BLOCK: 0861  
LOTS: 005  
ZONING: OS



VICINITY MAP  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

Sheet List Table	
Sheet Number	Sheet Title
C-000	COVER SHEET
C-100	EXISTING SITE PLAN
C-101	DEMOLITION PLAN
C-102	TREE PROTECTION DETAILS
C-103	TREE PROTECTION NOTES
C-200	PROPOSED SITE GRADING PLAN
E-101	PLAN, RISER, AND SCHEDULES
E-001	LEGEND AND DETAILS
L-101	KEY PLAN
L-102	MATERIALS PLAN
L-103	LAYOUT PLAN
L-201	HARDSCAPE DETAILS
L-202	HARDSCAPE DETAILS
L-203	HARDSCAPE NOTES
L-301	PLANTING PLAN
L-401	PLANTING DETAILS
L-402	PLANTING NOTES

EARTHWORK SUMMARY	
TOTAL DISTURBED AREA	4,950 SF
TOTAL CUT (salvaged and backfill)	36.6 CY
TOTAL CUT (hauled)	2.1 CY
TOTAL FILL (imported)	0.0 CY
TOTAL EARTHWORK	38.7 CY

DATA IS APPROXIMATE AND IS PROVIDED FOR BALTIMORE CITY REVIEW ONLY. CONTRACTOR TO VERIFY DATA AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

LANDSCAPE ARCHITECT:

ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
PHONE: 443-956-9278



CIVIL ENGINEER:

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
PHONE: 410-601-3290



ELECTRICAL ENGINEER:

THOMAS FOULKES LLC  
1400 MASON STREET  
BALTIMORE MD 21217  
410.262.1806

DEVELOPER/APPLICANT:

SOUTH BALTIMORE GATEWAY  
PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
PHONE: 410-424-7593

PROPERTY OWNER:

MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: CJ CHECKED: KL

DESIGNED: KL

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 40805  
EXP. DATE: 6-21-2025



PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
COUNCIL DISTRICT #11

PLAN NO.:

DATE: 05/01/2025

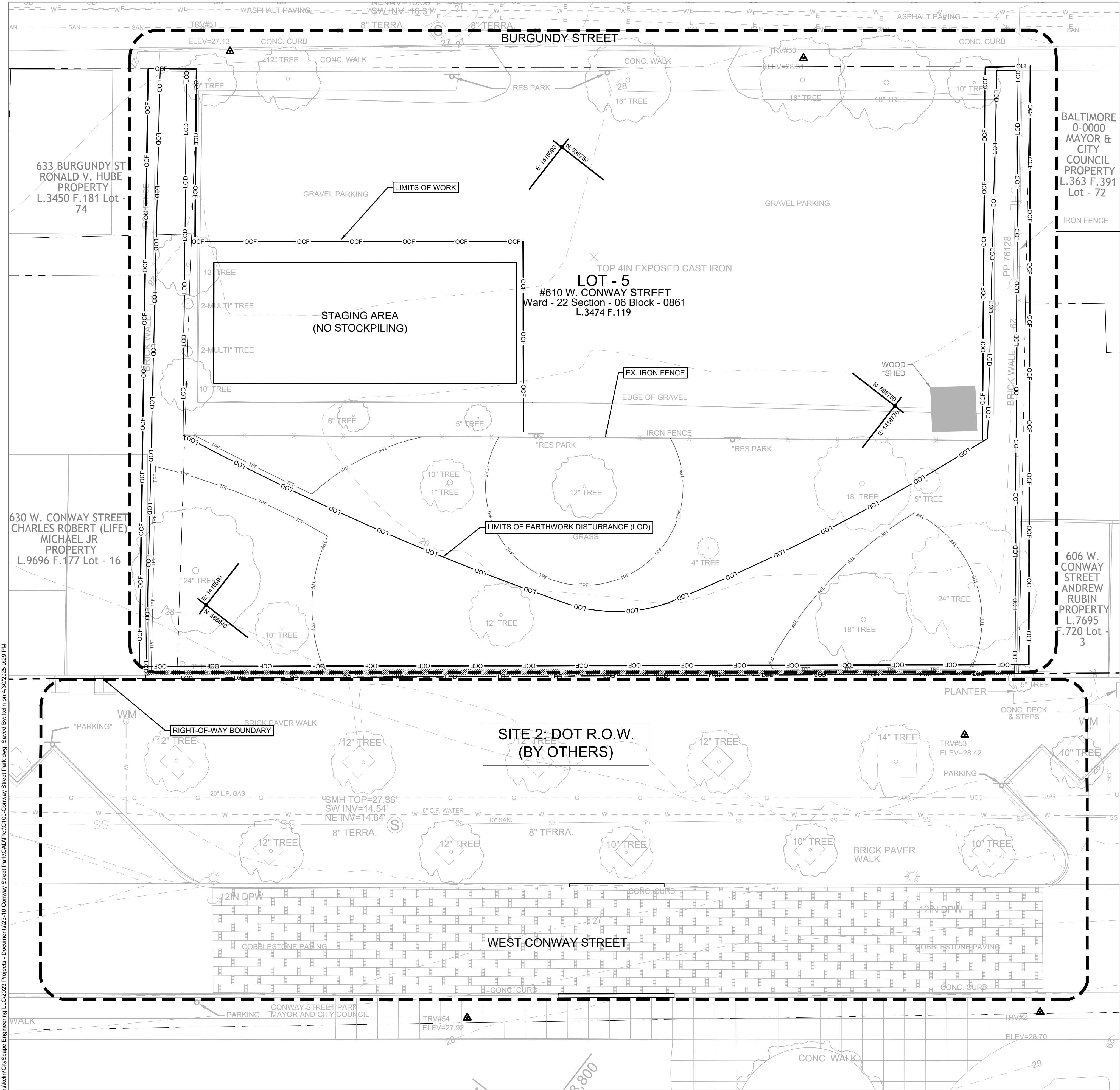
PROJECT NO.: 23-10

SHEET TITLE:

COVER SHEET

DWG. NO.:  
C-000





**SITE 1: CITY-OWNED PARCEL**

**GENERAL SURVEY NOTES:**

1. THE LOCATION OF IMPROVEMENTS SHOWN HEREON ARE DERIVED FROM MARYLAND COORDINATE SYSTEM (NAD83/NA2011 EPOCH 2010) & NAVD88 FOR VERTICAL:

PointNo.	Northing(Y)	Easting(X)	Elev(Z)	Description
1	588476.03	1418607.85	26.58	MAG NAIL
2	588676.07	1418862.34	28.70	MAG NAIL
3	588424.57	1418839.08	31.99	MAG NAIL

**SITE DATA:**

OWNERSHIP: MAYOR AND CITY COUNCIL  
DEED: L.3437 F.119  
ADDRESS: 610 W. CONWAY STREET, BALTIMORE, MD 21201  
LOT 5 - WARD 22 - SECTION 6 - BLOCK 861

3. A BOUNDARY SURVEY WAS NOT PERFORMED. PROPERTY LINES AND BUILDING LOCATION SHOWN HEREON ARE BASED ON GIS DATA AVAILABLE FROM BALTIMORE CITY.
4. UTILITY INFORMATION SHOWN HEREON IS BASED ON ABOVE-GROUND LOCATIONS AND PAINT MARKINGS.
5. ADDITIONAL INFORMATION SHOWN HEREON IS BASED ON INFORMATION PREPARED BY ENVIROCOLLAB, LLC & CITYSCAPE ENGINEERING, LLC.

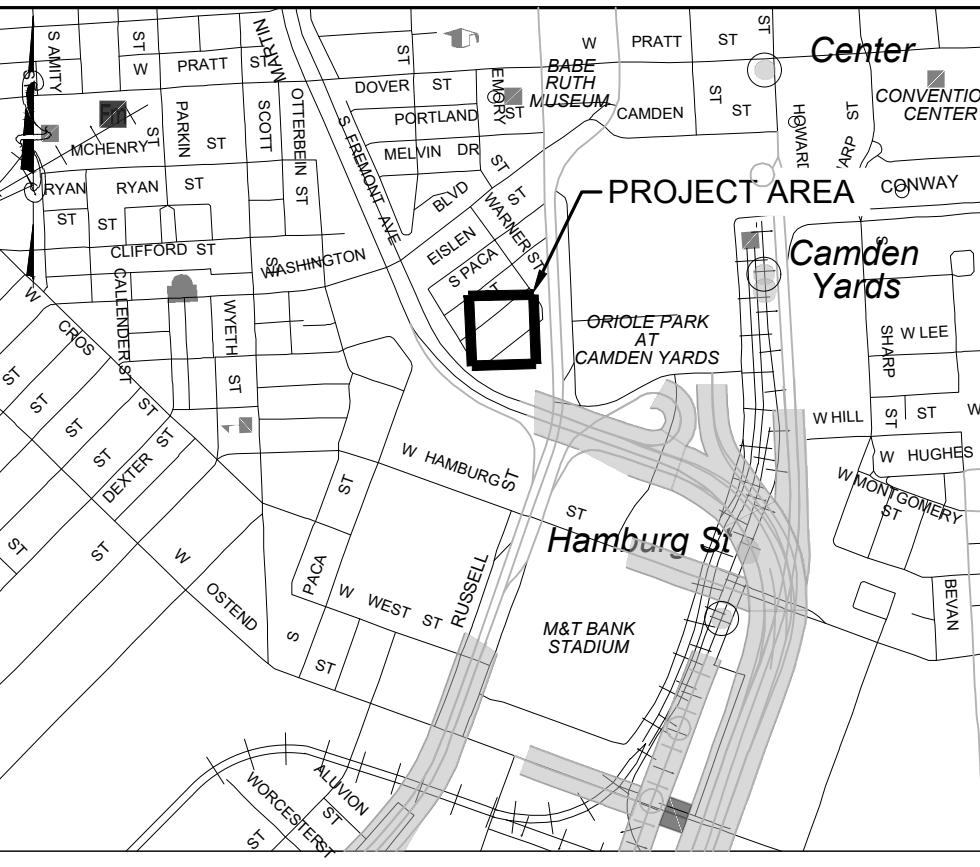
**UTILITY NOTES:**

1. SUBSURFACE UTILITY LOCATIONS SHOWN ON THIS PLAN WERE ESTIMATED BASED ON OBSERVED SURFACE MARKERS, RESULTS OF THE MISS UTILITY DESIGN TICKET, AND UTILITY PLANS PROVIDED BY UTILITY COMPANIES. THE CORRECTNESS AND COMPLETENESS OF THE UTILITY INFORMATION IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST THREE WORKING DAYS PRIOR TO STARTING WORK SO THEY CAN ARRANGE TO MARK THE HORIZONTAL LOCATION OF THEIR UNDERGROUND UTILITIES. ANY PERMITS OR COST ASSOCIATED WITH MISS UTILITY ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. ALL WORK SHALL BE SUBJECT TO INSPECTION BY UTILITY DEPARTMENT OFFICIALS.
4. CONTRACTOR SHALL CONDUCT TEST PITS TO VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY, IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLAN, IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.
5. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AND MAINTAIN UNINTERRUPTED UTILITY SERVICE. ANY DAMAGE TO EXISTING STRUCTURES SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE CITY UTILITY INSPECTOR, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEVELOPER AND THE UTILITY OWNER OF ANY DAMAGE TO THE UTILITY.

**LEGEND**

**EXISTING FEATURES**

- LOD LIMIT OF DISTURBANCE
- BUILDING
- PROPERTY LINE
- TRAVERSE POINT
- MAJOR (5-FT) CONTOUR
- MINOR (1-FT) CONTOUR
- SANITARY MANHOLE
- STORM DRAIN MANHOLE
- LIGHT POLE
- WATER METER
- SIGN
- ROOF DRAIN TO CURB (3")
- FIRE HYDRANT
- WATER VALVE
- HAND HOLE
- IRON FENCE
- UNDERGROUND GAS (QLC)
- WATER LINE (QLC)
- SANITARY MAIN (QLC)
- TREE
- WATER LINE (QLD)
- SANITARY MAIN (QLD)
- UNDERGROUND ELECTRIC (QLD)
- UNDERGROUND GAS (QLD)
- COBBLESTONE
- TREE PROTECTION FENCE
- CONSTRUCTION FENCE



**VICINITY MAP**  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

**LANDSCAPE ARCHITECT:**  
ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
PHONE: 443-956-9278

**envirollab**  
LANDSCAPE ARCHITECTURE

**CIVIL ENGINEER:**  
CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD.  
SUITE #214  
BALTIMORE, MD 21211  
PHONE: 410-601-3290

**CITYSCAPE**  
ENGINEERING, LLC

**ELECTRICAL ENGINEER:**  
THOMAS FOULKES LLC  
1400 MASON STREET  
BALTIMORE MD 21217  
410.262.1806

**DEVELOPER/APPLICANT:**  
SOUTH BALTIMORE GATEWAY  
PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
PHONE: 410-424-7593

**PROPERTY OWNER:**  
MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
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DRAWN: CJ CHECKED: KL

DESIGNED: KL

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 40805  
EXP. DATE: 6-21-2025

**PROJECT INFORMATION:**  
CONWAY STREET NORTH PLAZA SITE IMPROVEMENTS

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
COUNCIL DISTRICT #11

aPLAN NO.: TBD

DATE: 05/01/2025

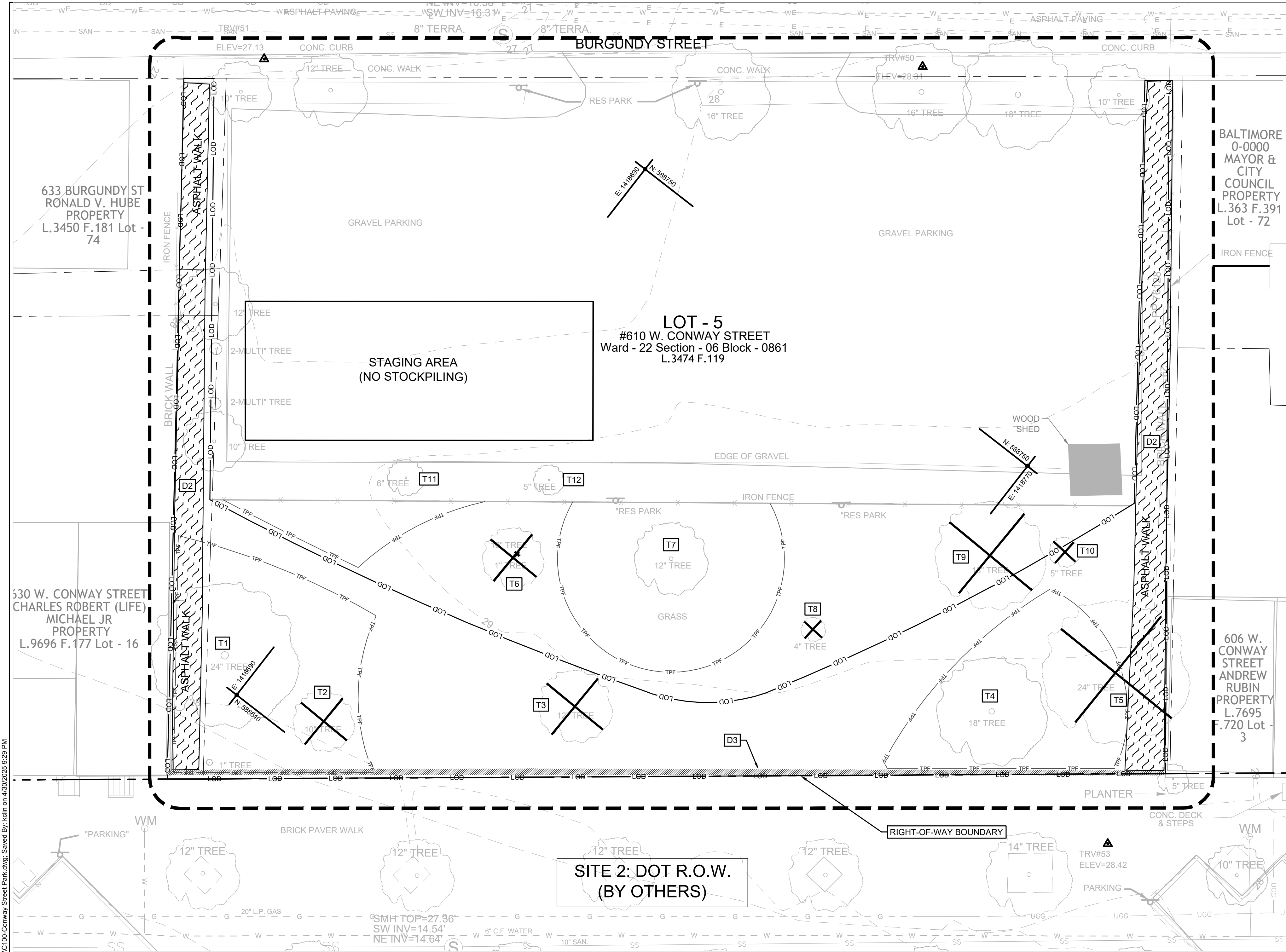
PROJECT NO.: 23-10

SHEET TITLE:

**EXISTING SITE PLAN**

DWG. NO.:  
**C-100**





MARYLAND STATE COORDINATE SYSTEM  
(NAD83) NAD8311 TPOC1 2011 NAD83 E OR VERTICAL

**SITE 1: CITY-OWNED PARCEL**

SITE PREPARATION NOTES:

- AREAS DESIGNATED FOR WORK SHALL BE CLEARED AND GRUBBED, AS NEEDED.
- ALL TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AS DIRECTED BY THE OWNER. ALL DISPOSAL SHOULD BE DONE AT A SITE WITH APPROVED APPLICABLE PERMITS.
- NO ITEMS ARE TO BE BURNED OR BURIED ON THE SITE.

DEMOLITION NOTES:

- DEMOLITION ITEMS ARE TO INCLUDE ALL WORK REQUIRED TO REMOVE ITEM FROM SITE COMPLETELY. EXISTING IMPERVIOUS COVER TO BE REMOVED AND ALL UNDERLYING GRAVEL AND STONE ARE TO BE REMOVED AND HAULED FROM THE SITE.
- NO ITEMS ARE TO BE BURNED OR BURIED ON THE SITE.
- FOR ALL PAVEMENT REMOVAL AREAS, NEATLY SAWCUT ALL EDGES.
- NO HEAVY MACHINERY SHALL BE ALLOWED WITHIN THE TREE CRITICAL ROOT ZONE (CRZ). FOR GRADING NEEDS WITHIN THE CRZ, ONLY A LIGHT BOBCAT SHALL BE USED AND DISTURBANCE SHOULD BE MINIMIZED.
- WITHIN THE CRZ, PAVEMENT TO BE REMOVED MUST BE BROKEN UP BY A JACK HAMMER AND REMOVED BY HAND. AN AIR SPADE MAY BE USED TO LOOSEN MATERIAL.
- SUBBASE BELOW PAVEMENT REMOVAL AREAS MAY BE TEMPORARILY STOCKPILED ON SITE AND REUSED FOR CONSTRUCTION OF NEW WALKWAYS. MATERIAL MUST BE TESTED PRIOR TO REUSE AND SHALL MEET PROPOSED SUBBASE SPECIFICATIONS.
- CONTRACTOR TO DOCUMENT CONDITION OF ALL ADJACENT PROPERTIES, BUILDINGS, STRUCTURES, RIGHT-OF-WAYS, AND UTILITIES PRIOR TO DEMOLITION OR CONSTRUCTION.
- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING AROUND BGE ELECTRIC AND GAS INFRASTRUCTURE.
- REFER TO TREE PROTECTION DETAILS & NOTES ON SHEETS C-102 & C-103.

**LEGEND**

**EXISTING FEATURES**

- LOD LIMIT OF DISTURBANCE
- BUILDING
- PROPERTY LINE
- TRAVERSE POINT
- MAJOR (5-FT) CONTOUR
- MINOR (1-FT) CONTOUR
- SANITARY MANHOLE
- STORM DRAIN MANHOLE
- LIGHT POLE
- WATER METER
- SIGN
- ROOF DRAIN TO CURB (3")
- FIRE HYDRANT
- WATER VALVE
- HAND HOLE
- IRON FENCE
- UNDERGROUND GAS (QLC)
- WATER LINE (QLG)
- SANITARY MAIN (QLC)

**DEMO FEATURES**

- TREE
- WATER LINE (QLD)
- SANITARY MAIN (QLD)
- UNDERGROUND ELECTRIC (QLD)
- UNDERGROUND GAS (QLD)
- COBBLESTONE
- TREE TO BE REMOVED
- ASPHALT TO BE REMOVED
- CONCRETE CURB REMOVAL

**1 DEMOLITION PLAN**

DEMOLITION KEYNOTES TABLE		
TAG	DESCRIPTION	QUANTITY
SEE LEGEND	TREE TO BE REMOVED	7
D2	ASPHALT TO BE REMOVED	1092 SF
D3	CONCRETE CURB TO BE REMOVED	166 LF

NOTE: SEE SHEET C-102 FOR TREE PROTECTION DETAILS

SITE 1 EXISTING TREE TABLE					
ID	DBH	BOTANICAL NAME	COMMON NAME	CONDITION	PROPOSED IMPACTS
TREES SOUTH OF FENCE LINE					
T1	34 in.	Zelkova serrata	Japanese Zelkova	Good	Preserved
T2	10 in.	Zelkova serrata	Japanese Zelkova	Fair	Removal
T3	12 in.	Zelkova serrata	Japanese Zelkova	Fair	Removal
T4	22 in.	Zelkova serrata	Japanese Zelkova	Good	Preserved
T5	24 in.	Zelkova serrata	Japanese Zelkova	Fair	Removal
T6	10 in.	Zelkova serrata	Japanese Zelkova	Fair	Removal
T7	19 in.	Zelkova serrata	Japanese Zelkova	Fair	Preserved
T8	4 in.	Prunus spp.	Cherry Tree	Good	Removal
T9	18 in.	Zelkova serrata	Japanese Zelkova	Fair	Removal
T10	5 in.	Abies concolor	White fir	Fair	Removal
TREES NORTH OF FENCE LINE					
T11	6 in.				Preserved
T12	5 in.				Preserved

SPECIMEN TREE MITIGATION REQUIRED (in inches)				
T11	6 in.			24
T12	5 in.			

REFER TO LANDSCAPE SHEETS FOR TREE PLANTING AND MITIGATION PLAN

**VICINITY MAP**  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

LANDSCAPE ARCHITECT:  
ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
PHONE: 443-956-9278

**envirolcollab**  
LANDSCAPE ARCHITECTURE

CIVIL ENGINEER:  
CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
PHONE: 410-601-3290

**CITYSCAPE**  
ENGINEERING, LLC

ELECTRICAL ENGINEER:

**TF** THOMAS FOULKES LLC  
MECHANICAL AND ELECTRICAL ENGINEERS  
1400 MASON STREET  
BALTIMORE, MD 21217  
410.262.1806

DEVELOPER/APPLICANT:  
SOUTH BALTIMORE GATEWAY PARTNERSHIP  
101 W. DICKMAN STREET  
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PHONE: 410-424-7593

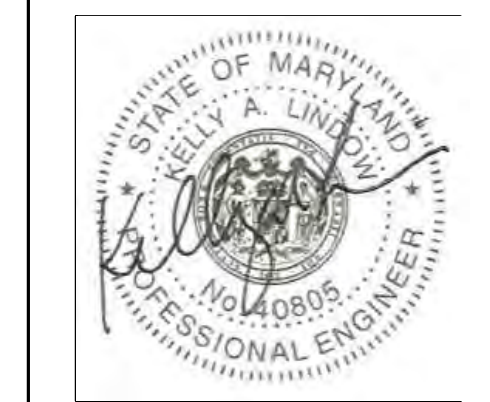
PROPERTY OWNER:  
MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

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DRAWN: CJ CHECKED: KL

DESIGNED: KL

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LICENSE NO.: 40805  
EXP. DATE: 6-21-2025



PROJECT INFORMATION:  
CONWAY STREET NORTH PLAZA SITE IMPROVEMENTS

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
COUNCIL DISTRICT #11

#PLAN NO.: TBD

DATE: 05/01/2025

PROJECT NO.: 23-10

SHEET TITLE:  
**DEMOLITION PLAN**

DWG. NO.:  
**C-101**

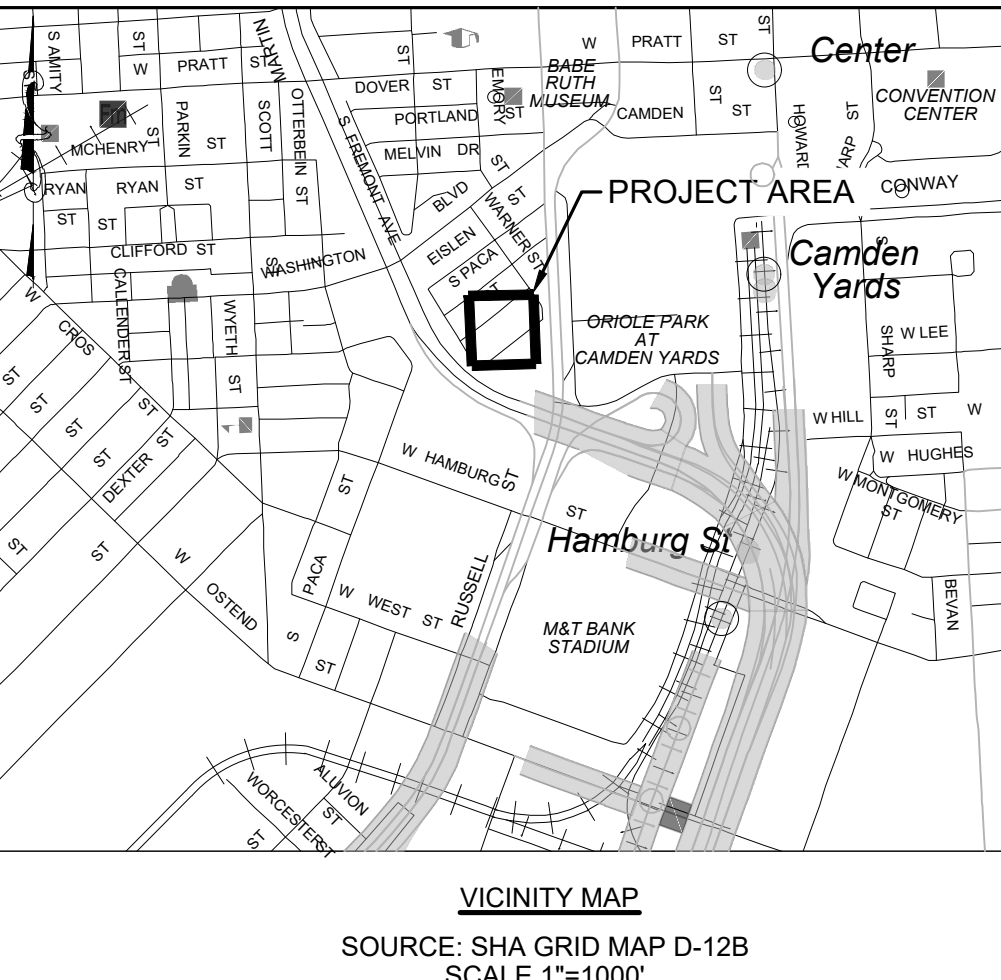
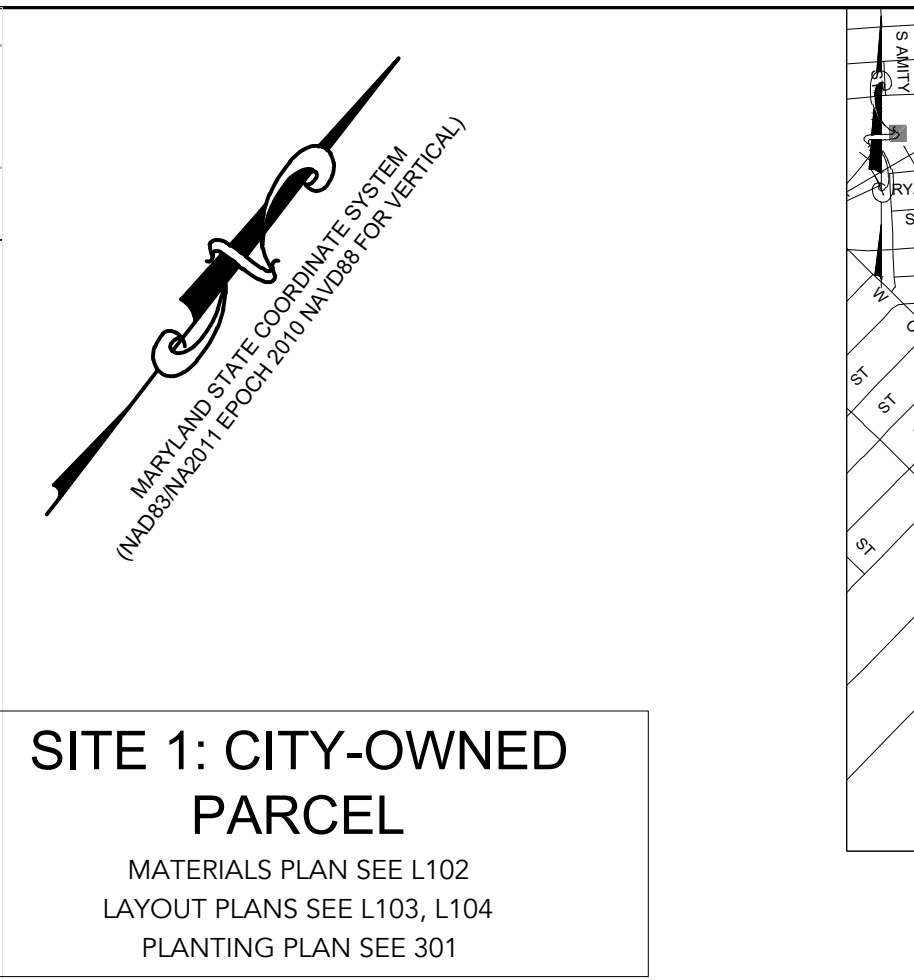












LANDSCAPE ARCHITECT:

ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
PHONE: 410-956-9278

  
**envirocollab**  
LANDSCAPE ARCHITECTURE

CIVIL ENGINEER:

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
PHONE: 410-601-3290

  
**CITYSCAPE**  
ENGINEERING, LLC

ELECTRICAL ENGINEER:

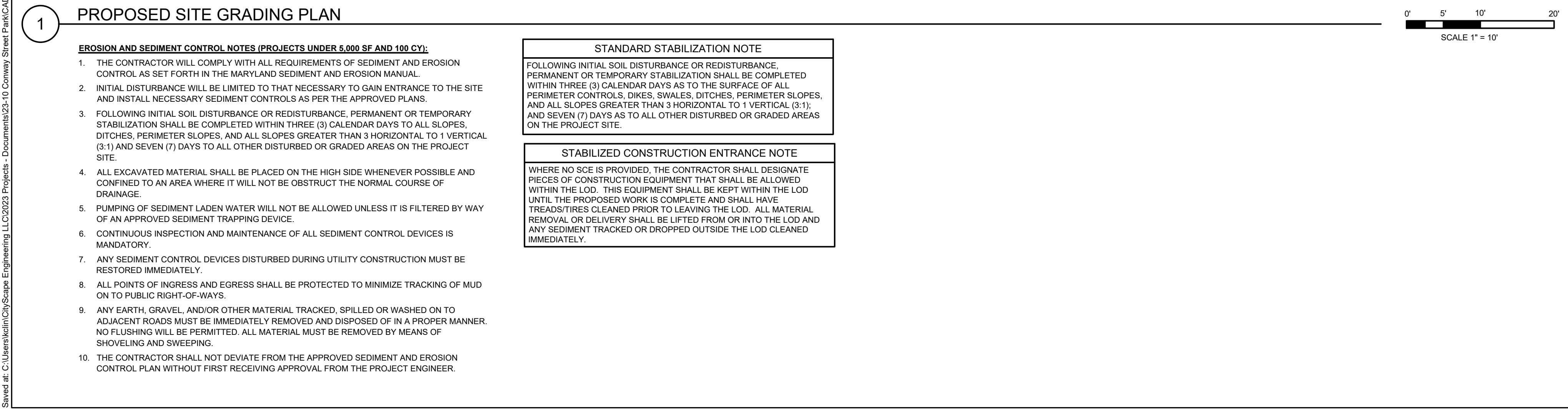
- SEQUENCE OF CONSTRUCTION:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR HOLDING ALL CONSTRUCTION PERMITS ONSITE AT ALL TIMES AND SCHEDULING INSPECTIONS WITH THE APPROPRIATE BALTIMORE CITY REPRESENTATIVES LISTED ON THE PERMIT.
  2. CLEAR AND GRUB FOR PLACEMENT OF SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES ONLY.
  3. INSTALL THE TREE PROTECTION FENCE AS SHOWN ON PLAN. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION UNTIL DIRECTED BY THE OWNER TO REMOVE.
  4. NO EQUIPMENT ACTIVITY AND NO STORAGE PERMITTED WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES. TREE MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO EXISTING TREES.
  5. PERFORM SITE DEMOLITION. REFER TO SITE DEMOLITION NOTES, SHEET C-101.
  6. PERFORM ROUGH GRADING OF SITE TO ACCOMMODATE PROPOSED NEW PAVING AREAS. DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED FOLLOWING THE 3 TO 7 DAY RULE (SEQUENCE ITEM #3).
  7. INSTALL CONDUIT AND SITE LIGHTING. REFER TO ELECTRICAL PLANS.
  8. CONSTRUCT NEW BRICK, GRAVEL AND CONCRETE PAVING AREAS AS SHOWN ON THE PLANS.
  9. INSTALL LANDSCAPE BEDS AND NEW PLANTINGS PER LANDSCAPING PLANS.
  10. PLACE 4" OF FURNISHED TOPSOIL ALONG ANY AREAS DISTURBED DURING CONSTRUCTION. IMMEDIATELY SEED AND WATER TO ESTABLISH PERMANENT STABILIZATION. SEE ESC NOTES, THIS SHEET.
  11. UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
  12. UPON SITE STABILIZATION AND UPON WRITTEN APPROVAL FROM THE PROJECT MANAGER, THE CONTRACTOR MAY REMOVE EROSION AND SEDIMENT CONTROLS INCLUDING TREE PROTECTION FENCE. REMOVAL OF SEDIMENT CONTROLS SHOULD ONLY BE COMPLETED AFTER PERMANENT STABILIZATION IS EVIDENT.
  13. REPLACE ANY AREAS OF EXISTING ROADWAY PAVEMENT, SIDEWALK, OR LANDSCAPING DAMAGED BY REMOVAL OF EROSION AND SEDIMENT CONTROL DEVICES TO MATCH PRE-CONSTRUCTION CONDITIONS.

- GRADING NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
  2. CONTRACTOR TO IMMEDIATELY NOTIFY CIVIL ENGINEER AND OWNER OF ANY DISCREPANCIES IN THE EXISTING CONDITIONS AND/OR PROPOSED GRADES DEPICTED ON THIS PLAN.
  3. CONTRACTOR TO ENSURE PROPOSED SIDEWALK, CURB, AND GUTTER TIES INTO EXISTING SIDEWALK, CURB, AND GUTTER IN LINE AND ON-GRADE.
  4. CONTRACTOR TO ENSURE PROPOSED PAVEMENT TIES INTO EXISTING PAVEMENT IN LINE AND ON-GRADE.
  5. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS, CURB AND GUTTER, AND SIDEWALK WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
  6. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
  7. CONTRACTOR TO PROVIDE 3%:1V MAXIMUM TIE-IN SLOPES WHERE NEEDED.
  8. GRADING FOR SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE.
  9. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTIONS AT ACCESSIBLE PARKING LOCATIONS, TOP/BOTTOM OF RAMPS, OR IN FRONT OF BUILDING DOORS.
  10. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION ALONG THE ACCESSIBLE WALKING PATH OR PARKING AREAS IDENTIFIED.
  11. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AND DISPOSED OF OFF-SITE AS DIRECTED BY THE OWNER. ALL DISPOSAL SHOULD BE DONE AT A SITE WITH APPROVED APPLICABLE PERMITS.
  12. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
  13. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GROUND.
  14. FINISHED GRADE SHALL MATCH EXISTING ADJACENT SURFACES SMOOTHLY WITHOUT CREATING TRIPPING HAZARDS OR PONDING AREAS.
  15. CONTRACTOR SHALL LIMIT GRADING OPERATIONS TO DESIGNATED LIMITS OF DISTURBANCE AREAS TO PREVENT DISTURBANCE TO ADJACENT PROPERTIES OR EXISTING VEGETATION TO REMAIN.

EARTHWORK SUMMARY	
TOTAL DISTURBED AREA	4,567 SF
TOTAL CUT (salvaged and backfill)	36.6 CY
TOTAL CUT (hauling)	2.1 CY
TOTAL FILL (imported)	0.0 CY
<b>TOTAL EARTHWORK</b>	<b>38.7 CY</b>

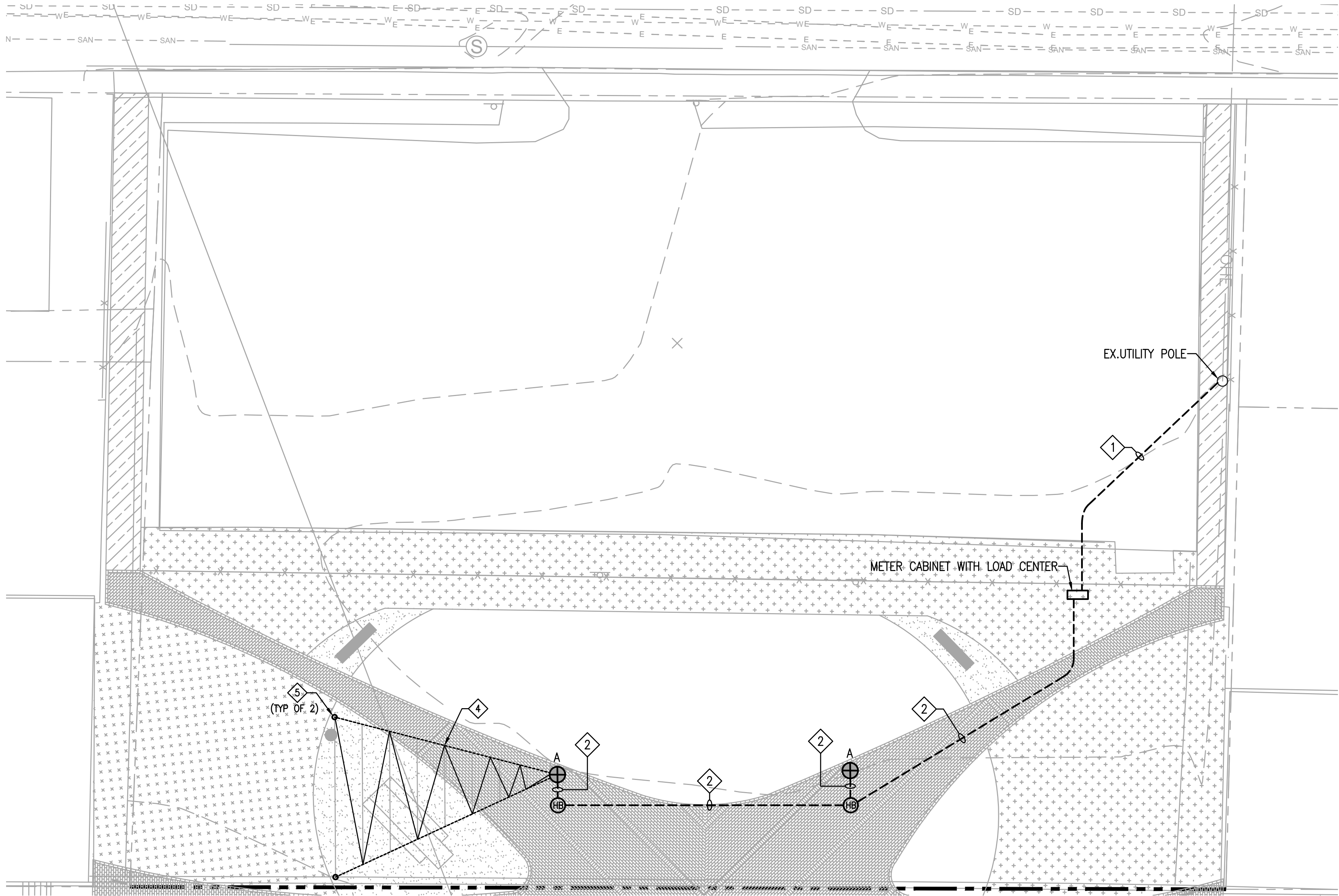
DATA IS APPROXIMATE AND IS PROVIDED FOR BALTIMORE CITY REVIEW ONLY. CONTRACTOR TO VERIFY DATA AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

- LANDSCAPE NOTE:**
1. REFER TO LANDSCAPE DRAWINGS L101 - L402 FOR HARDSCAPE, AMENITIES, AND PLANTING INFORMATION
  2. REFER TO SHEET L301 FOR PLANTING PLAN

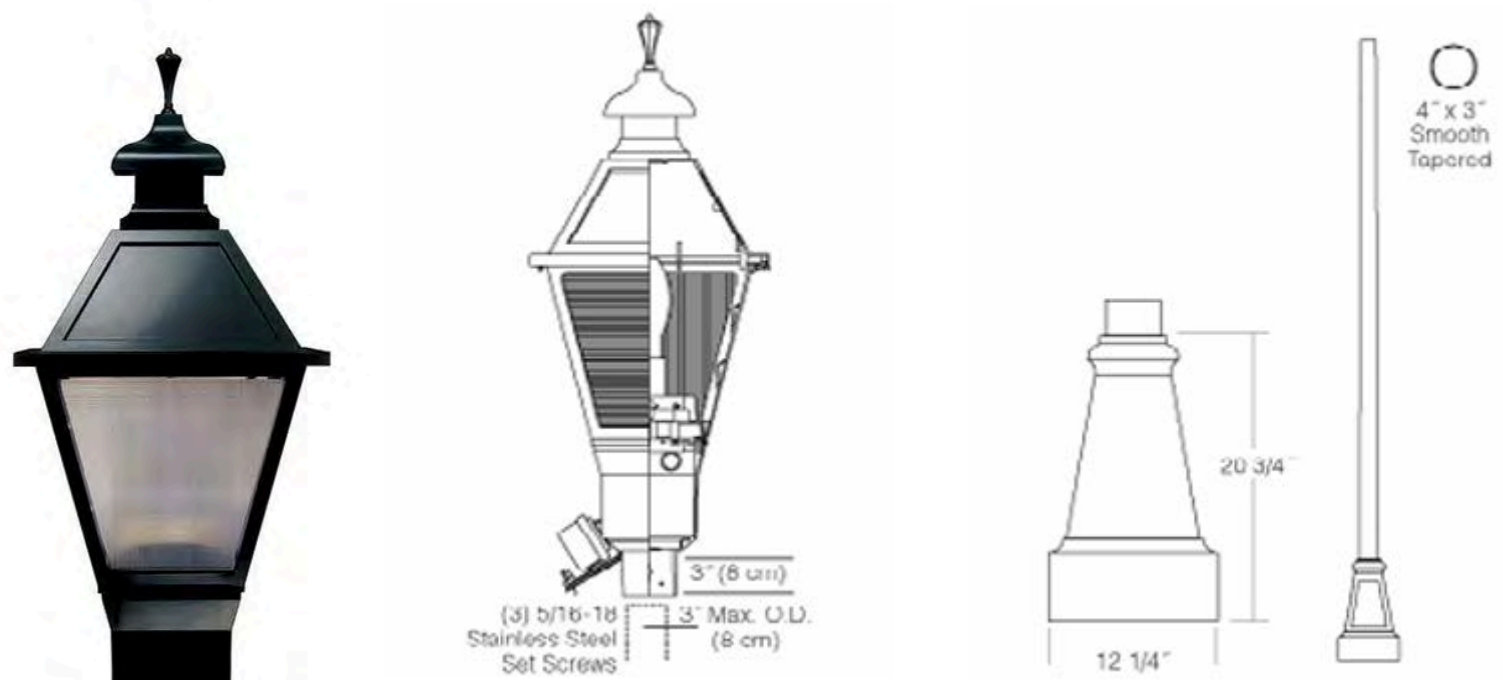


PROJECT INFORMATION:	
CONWAY STREET NORTH PLAZA SITE IMPROVEMENTS	
610 W CONWAY STREET BALTIMORE, MD 21230 WARD 22, SECTION 060 BLOCK 0861, LOT 005	
COUNCIL DISTRICT #11	
ePLAN NO.:	TBD
DATE:	05/01/2025
PROJECT NO.:	23-10
SHEET TITLE:	
PROPOSED SITE GRADING PLAN	
DWG. NO.:	
C-200	





ELECTRICAL PLAN  
1" = 10'-0"

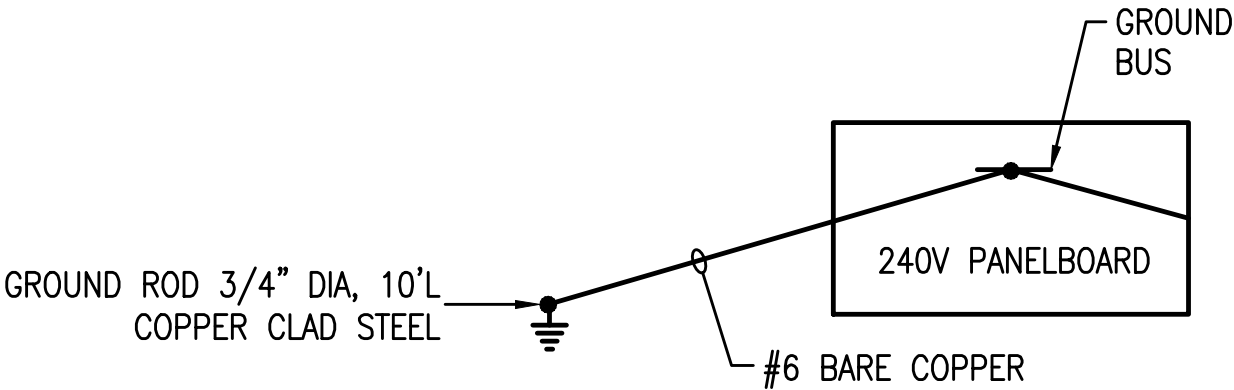


LIGHT FIXTURE SCHEDULE

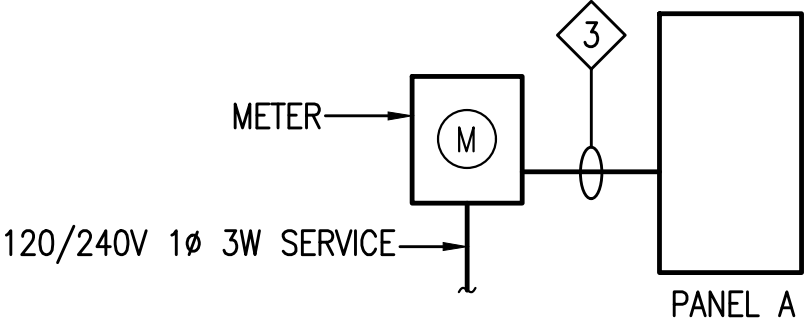
TYPE	DESCRIPTION	MAKE	MODEL OR APPROVED EQUAL	DIMMING	LAMP TYPE	VOLTAGE	NOTES
A	POLE MOUNTED LIGHT	HADCO	VX651 32 G3 A C 3W R N 730 A 7 N SP2 AND P1910 106A TB G	N/A	LED	120/277	PROVIDE GFI RECEPTACLE NEAR TOP AND BOTTOM OF POLE

DRAWING NOTES:

- 100 AMP, 120/240 VOLT, 1Ø, 3W SERVICE. PROVIDE 3 INCH DUCT FROM UTILITY POLE TO METER CABINET WITH UTILITY SERVICE CONDUCTORS BY BGE.
- 2 SETS OF 2#10 & #10G IN 1"Ø. 1 SET FOR LIGHTING AND 1 SET FOR RECEPTACLES IN LAMP POST BASE.
- 3#3 & #8G IN 2"Ø.
- 100 FEET OF FESTOON LIGHTING MOUNTED TO 1/8 INCH DIAMETER STAINLESS STEEL CATENARY CABLE. PARTYLIGHTS MODEL KM100BKLEDS4S14-22K OR EQUAL.
- DIRECT BURIAL POLE FOR FESTOON LIGHTING SUSPENSION. LITECO MODEL 3590-BK OR EQUAL.



SERVICE GROUNDING DETAILS  
NOT TO SCALE



SERVICE RISER  
NOT TO SCALE

PANEL SCHEDULE

PANEL SCHEDULE											
POWER PANEL: A VOLTS: 120/240 PHASE: 1 WIRE: 3 ENCLOSURE NEMA: 1						MOUNTING: BUS RATING: 100A MAIN OC DEVICE: 100A MINIMUM AIC: 10K		SURFACE			
C K T	DESCRIPTION	V-A	P O L E	B R K B R	A	B	B R K B R	P O L E	V-A	DESCRIPTION	C K T
1	LIGHTING	300	1	20	•	•			0	SPACE	2
3	RECEPTACLES	400	1	20	•	•			0	SPACE	4
5	SPACE	0			•	•			0	SPACE	6
7	SPACE	0			•	•			0	SPACE	8
9	SPACE	0			•	•			0	SPACE	10
11	SPACE	0			•	•			0	SPACE	12
CONNECTED LOAD (VA) PHASE A =		300	TOTAL CONNECTED LOAD VA =		700	TOTAL DEMAND LOAD VA =		560			
CONNECTED LOAD (VA) PHASE B =		400	TOTAL CONNECTED AMPS =		3	TOTAL DEMAND AMPS PER PHASE =		2			

LANDSCAPE ARCHITECT:

ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
PHONE: 443-956-9278

LANDSCAPE ARCHITECTURE

CIVIL ENGINEER:

CITYSCAPE ENGINEERING, LLC  
3000 CHESTNUT AVE  
SUITE #112  
BALTIMORE, MD 21211  
PHONE: 410-601-3290

CITYSCAPE  
ENGINEERING, LLC

ELECTRICAL ENGINEER:

THOMAS FOULKES LLC  
MECHANICAL AND ELECTRICAL ENGINEERING  
1400 MASON STREET  
BALTIMORE MD 21217  
410.262.1806

DEVELOPER/APPLICANT:

SOUTH BALTIMORE GATEWAY  
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101 W. DICKMAN STREET  
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BALTIMORE, MD 21230  
PHONE: 410-424-7593

PROPERTY OWNER:

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BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
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DRAWN:

CHECKED:

DESIGNED:

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 29940 DATE: 01.12.26

PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
COUNCIL DISTRICT #11

ePLAN NO.: N/A

DATE: 03/31/25

PROJECT NO.: N/A

SHEET TITLE:

PLAN, RISER, AND SCHEDULES

DWG. NO.: E-101



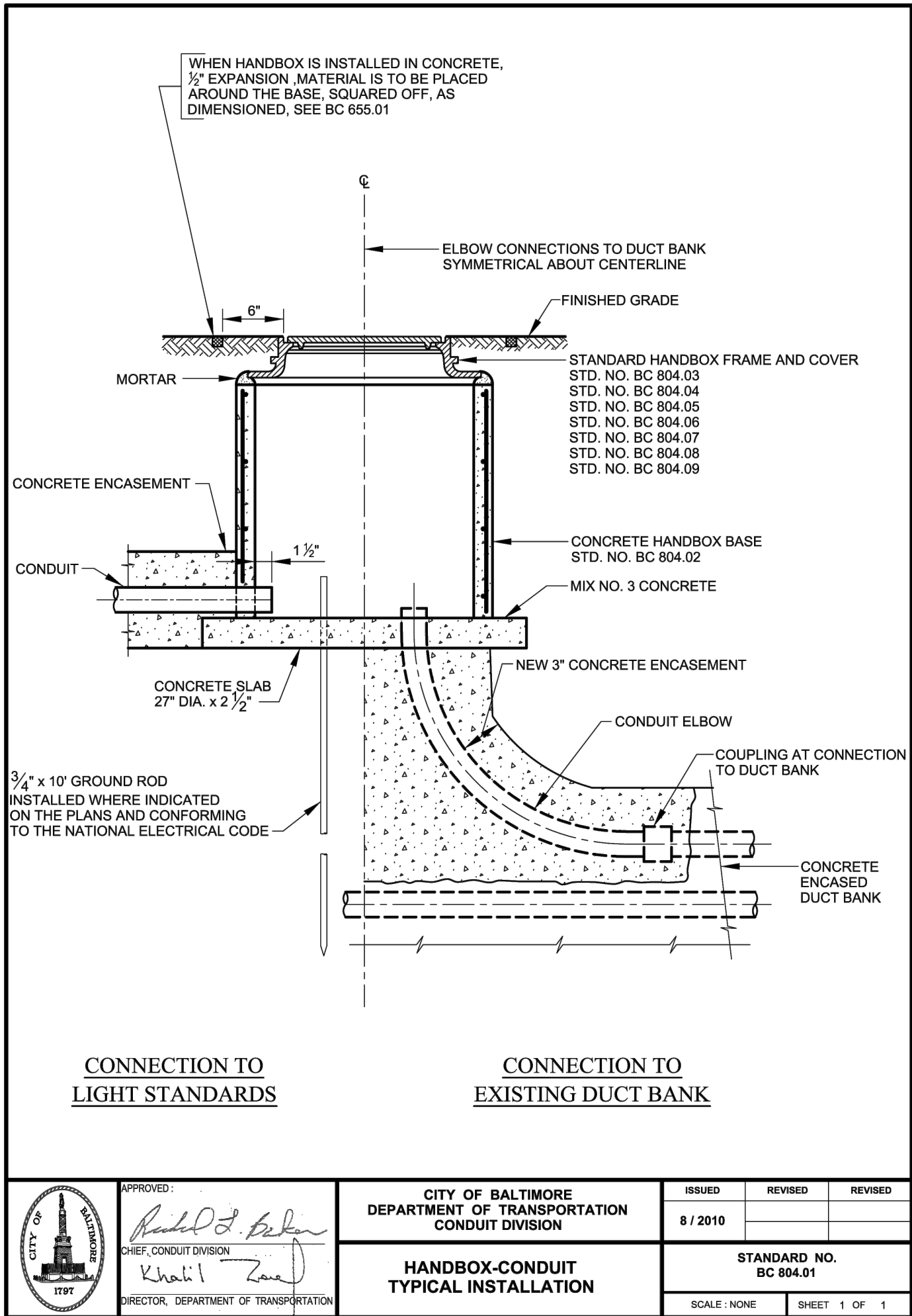
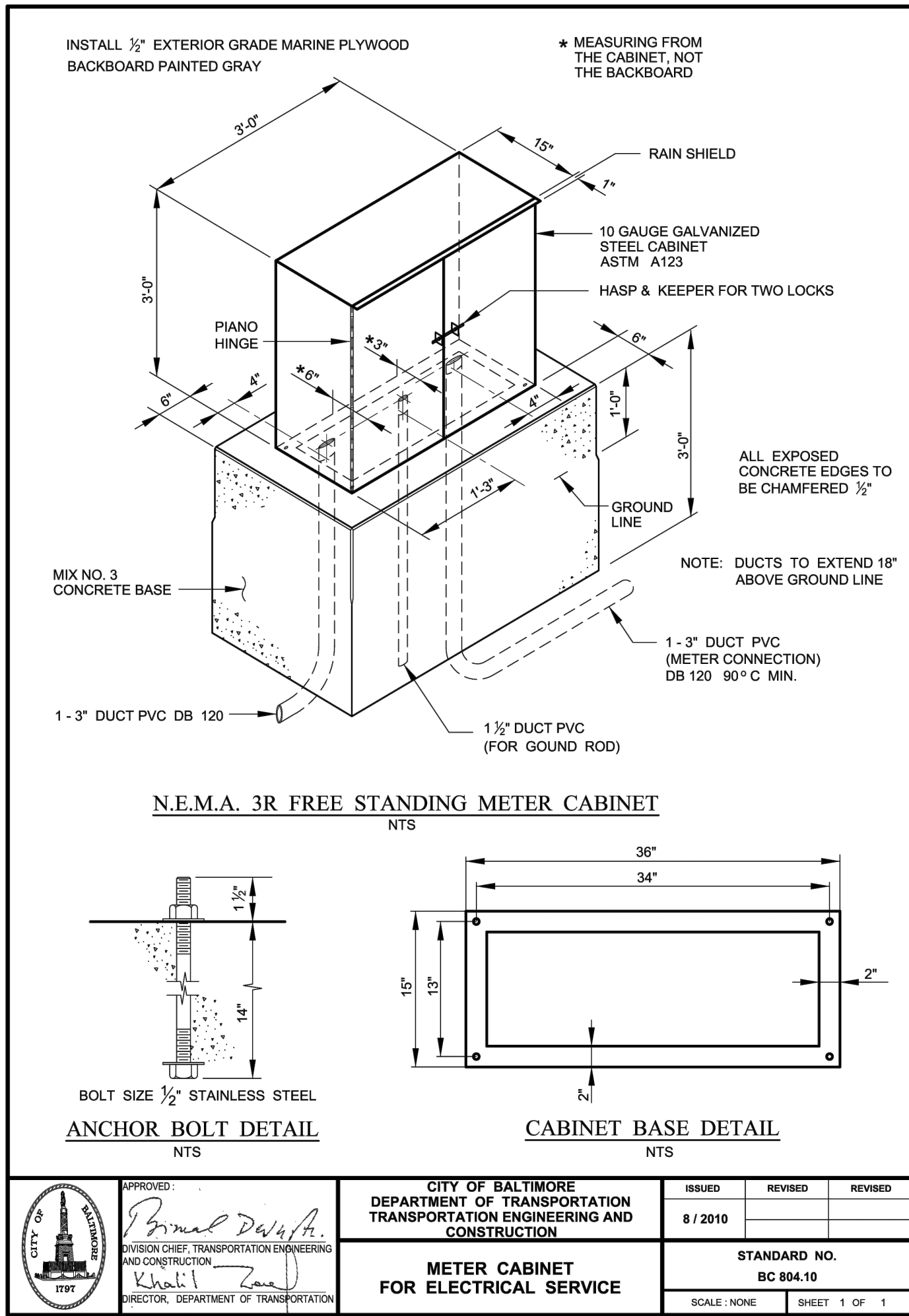
GENERAL ELECTRICAL NOTES

1. PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE ELECTRICAL SYSTEMS AS INDICATED ON THE DRAWINGS AND AS REQUIRED BY CODE.
2. CONTRACT DOCUMENT DRAWINGS FOR ELECTRICAL WORK ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY.
3. INSTALL ALL ELECTRICAL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS, CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS.
4. COORDINATE CONSTRUCTION OF ALL ELECTRICAL WORK WITH WORK SHOWN ON OTHER CONTRACT DOCUMENTS.
5. FINAL TESTING: TEST ALL CONNECTIONS AT PANEL BOARDS, DEVICES, AND EQUIPMENT AND ALL SPLICES. EACH BRANCH CIRCUIT AND ITS RESPECTIVE CONNECTED EQUIPMENT MUST TEST FREE OF SHORT CIRCUITS. UPON COMPLETION OF THE WORK, CLEAN AND POLISH ALL EXPOSED SURFACES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. ELECTRICAL CONTRACTOR SHALL VERIFY THE ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PRIOR TO INSTALLATION.
7. ALL WIRES SHALL BE COPPER WITH 600 VOLT INSULATION UNLESS OTHERWISE NOTED.

ELECTRICAL SPECIFICATIONS

- 1.0 RACEWAYS, BOXES, AND CONDUITS
  - A. OUTDOOR WIRING METHODS:
    1. ABOVEGROUND: RIGID OR INTERMEDIATE METAL CONDUIT.
    2. UNDERGROUND: RIGID NONMETALLIC CONDUIT (PVC SCHEDULE 40) UNLESS OTHERWISE NOTED.
  - B. BOXES AND ENCLOSURES: NEMA TYPE 3R.
- 2.0 WIRE AND CABLE
  - B. ALL CONDUCTORS SHALL BE COPPER, MINIMUM #12, UNLESS OTHERWISE NOTED, WITH THHN-THWN INSULATION.
  - C. ALL 120 VOLT CIRCUIT HOMERUNS THAT ARE OVER 100 LINEAR FEET SHALL BE #10 CONDUCTORS MINIMUM.
  - D. WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION MC CABLE MAY BE UTILIZED FOR INTERIOR BRANCH CIRCUITS.
- 3.0 PANELBOARDS
  - A. ALL PANELBOARDS SHALL BE EQUIPPED WITH COMMON KEYED LOCKS. PROVIDE A MINIMUM OF TWO KEYS PER PANEL. PANELBOARDS SHALL BE COMPLETE WITH DOOR IN DOOR TYPE COVERS AND TRIMS AND SHALL CONTAIN A GROUND BUS.
  - B. BEFORE ORDERING PANELBOARDS COORDINATE ALL MOTOR CIRCUIT TRIPS WITH EQUIPMENT MANUFACTURERS REQUIREMENTS. COORDINATE CONDUCTOR SIZE WITH ACTUAL MOTORS AND OTHER EQUIPMENT FURNISHED BEFORE INSTALLING CIRCUITRY. ADJUSTABLE TRIP CIRCUIT BREAKERS SHALL BE SET BY THE CONTRACTOR IN THE FIELD.
  - C. CREATE A TYPED DIRECTORY TO INDICATE INSTALLED CIRCUIT LOADS INCLUDING EXISTING. INCORPORATE OWNER'S FINAL ROOM DESIGNATIONS.
  - D. PANELBOARD LABELING: LABEL EACH PANELBOARD.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	NEW (THICK LINED)
	WEATHER PROOF GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE, 120 VOLTS
	HANDBOX
	PANELBOARD, SIZE AS NOTED



LANDSCAPE ARCHITECT:  
ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
PHONE: 443-956-9278



CIVIL ENGINEER:  
CITYSCAPE ENGINEERING, LLC  
3000 CHESTNUT AVE  
SUITE #112  
BALTIMORE, MD 21211  
PHONE: 410-601-3290



ELECTRICAL ENGINEER:  
THOMAS FOULKES LLC  
MECHANICAL AND ELECTRICAL ENGINEERING  
1400 MASON STREET  
BALTIMORE MD 21217  
410.262.1806

DEVELOPER/APPLICANT:  
SOUTH BALTIMORE GATEWAY  
PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
PHONE: 410-424-7593

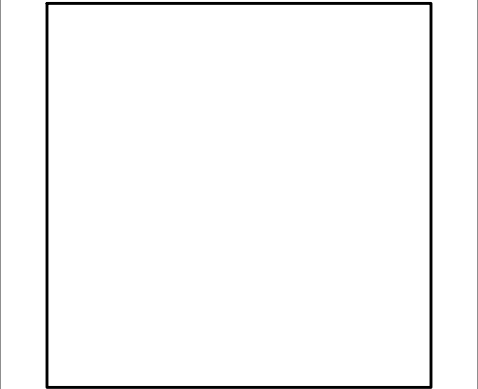
PROPERTY OWNER:  
MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
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DRAWN: CHECKED:

DESIGNED:

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 29940 DATE: 01.12.26



PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
COUNCIL DISTRICT #11

ePLAN NO.: N/A

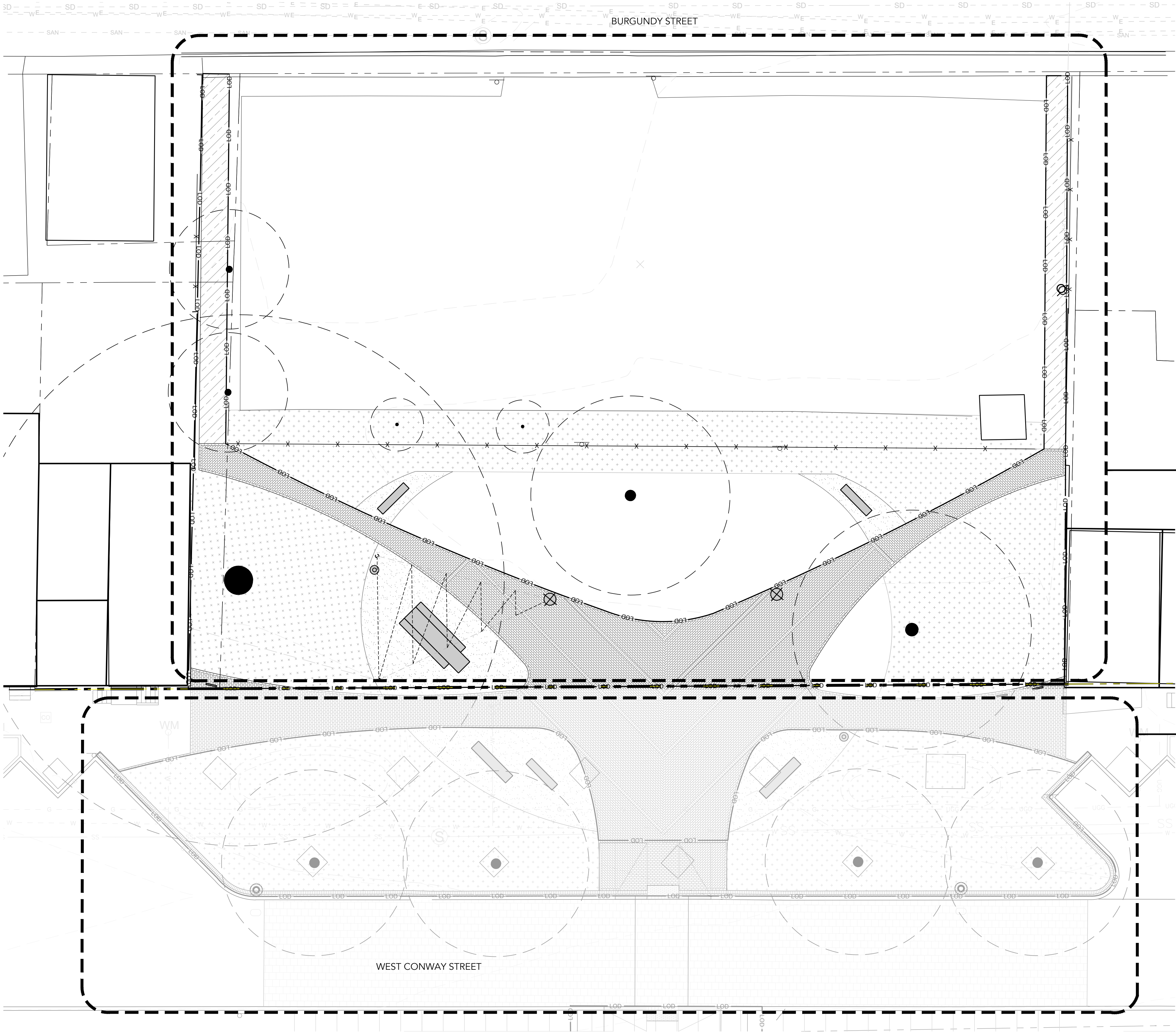
DATE: 03/31/25

PROJECT NO.: N/A

SHEET TITLE:  
LEGEND AND DETAILS

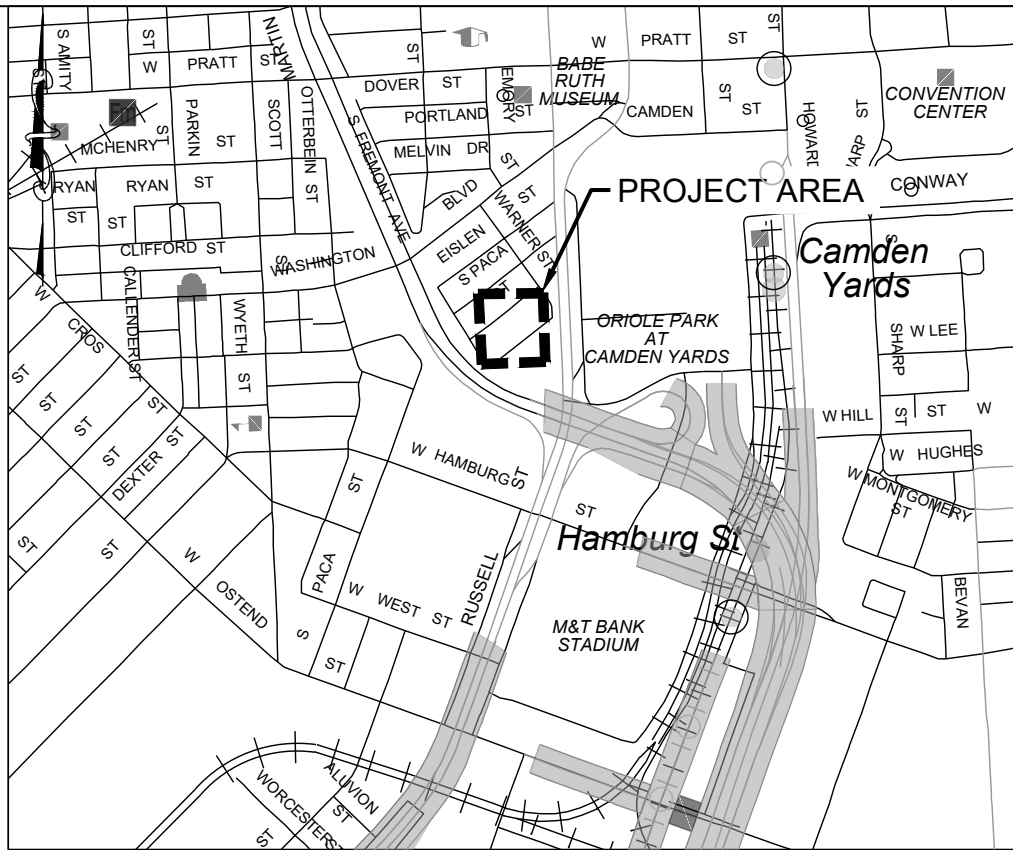
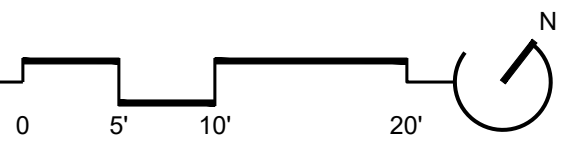
DWG. NO.:  
E-001





**1** | SITE 1 KEY PLAN

SCALE: 1" = 10'



VICINITY MAP  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

**SITE 1: ON-SITE PARCEL**  
MATERIALS PLAN, SEE L102  
LAYOUT PLAN, SEE L103  
HARDSCAPE DETAILS, SEE L201 AND L202  
HARDSCAPE NOTES, SEE L203

PLANTING PLAN, SEE L301  
MITIGATION PLANTING PLAN, SEE L302  
PLANTING DETAILS, SEE L401  
PLANTING NOTES, SEE L402

**SITE 2: RIGHT-OF-WAY (R.O.W.) PARCEL**  
REFER TO SEPARATE DRAWING SERIES L101R - L402R

LANDSCAPE SHEET INDEX

SHEET NUMBER	SHEET TITLE
L101	KEY PLAN
L102	MATERIALS PLAN
L103	LAYOUT PLAN
L201	HARDSCAPE DETAILS
L202	HARDSCAPE DETAILS
L203	HARDSCAPE NOTES
L301	PLANTING PLAN
L401	PLANTING DETAILS
L402	PLANTING NOTES

LANDSCAPE ARCHITECT:  
ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
(443) 956-9278



ENGINEER:  
CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
(410) 601-3290



DEVELOPER/APPLICANT:  
SOUTH BALTIMORE GATEWAY  
PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
(410) 424-7593

PROPERTY OWNER:  
MAYOR AND CITY COUNCIL  
100 N HOLIDAY STREET  
BALTIMORE, MD 21202

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DESIGNED: CO, PB

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LANDSCAPE ARCHITECT UNDER THE LAWS  
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LICENSE NO.: 4064  
EXP. DATE: 11/05/2026



PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
COUNCIL DISTRICT #11

ePLAN NO.:      N/A

DATE:      05/01/2025

PROJECT NO.:      2302

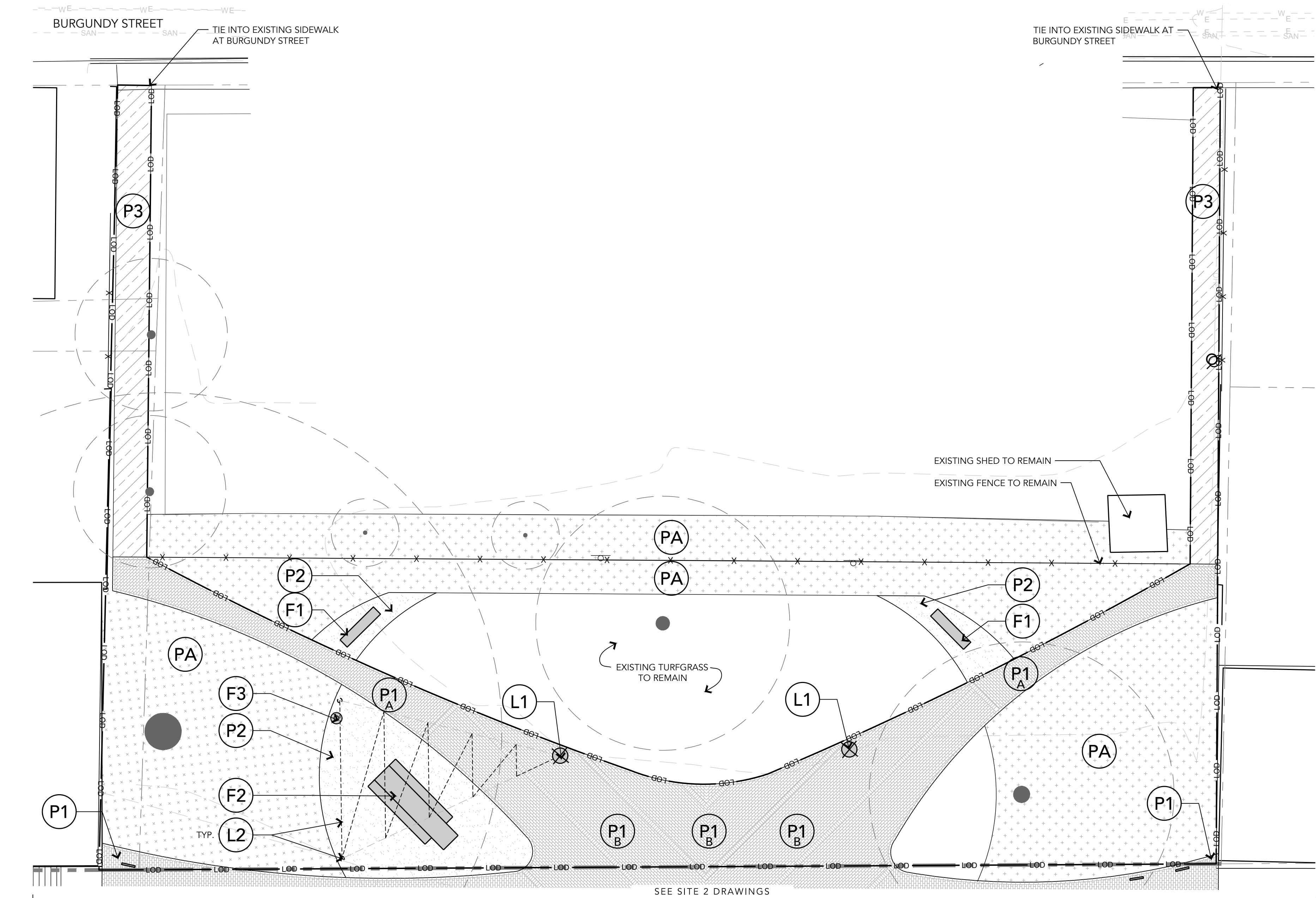
SHEET TITLE:

KEY PLAN

DWG. NO.:

L101

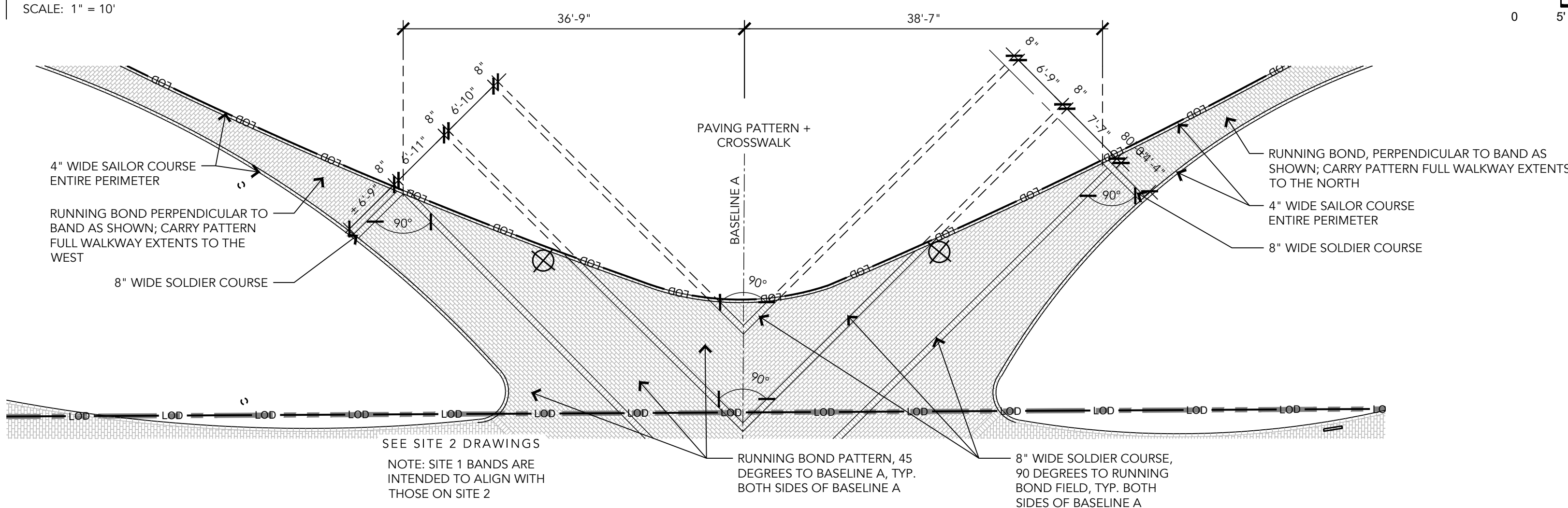
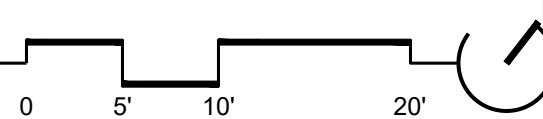




## 1 SITE 1 MATERIALS PLAN

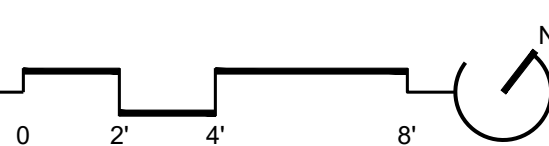
SCALE: 1" = 10'

SEE SITE 2 DRAWINGS



## 2 PAVING PATTERNING + LAYOUT

SCALE: 1" = 10'



### HARDSCAPE + AMENITIES LEGEND

#### PAVING.

- P1** **1** **BRICK PAVING**  
4"x8"x 2 1/4" NEW AND SALVAGED PAVER LAID IN CUSTOM PATTERN ON BITUMINOUS SETTING BED W/ CONCRETE BASE
- P1A** **1** **SALVAGED / REUSED BRICK PAVERS**  
SALVAGED FROM ON SITE DEMOLITION
- P1B** **1** **NEW BRICK PAVERS**

- P2** **2** **STONE DUST PAVING**  
OVER COMPACTED AGGREGATE

- P3** **3** **ASPHALT PAVING**  
3" THICK

- PA** **PLANTING AREA**  
SEE L301 - PLANTING PLAN

#### FURNISHINGS + FEATURES.

- F1** **4** **BACKLESS BENCH**  
PREFABRICATED, RISER MOUNT, 6' L, BACKLESS

- F2** **5** **COMMUNITY DINING TABLE W/ BENCHES**  
PREFABRICATED METAL, ADA COMPLIANT

- F3** **3** **LITTER RECEPTACLE**  
PREFABRICATED; SURFACE MOUNT

#### LIGHTING.

- L1** **1** **POLE LIGHT**  
12' HEIGHT DECORATIVE POLES

- L2** **2** **STRING LIGHTING**  
CABLE + STRING LIGHT SYSTEM BETWEEN 3" DIA. METAL POLES

#### MATERIALS NOTES:

- REFER TO L103 FOR LAYOUT PLAN, L201 + L202 FOR HARDSCAPE DETAILS, L301 FOR PLANTING PLAN, AND L401 FOR PLANTING DETAILS.
- REFER TO CIVIL DRAWINGS FOR GENERAL NOTES, DEMOLITION PLAN, TREE PROTECTION, EROSION + SEDIMENT CONTROL, GRADING, UTILITIES, AND DRAINAGE. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SITE PLAN AND SPECIFICATIONS.
- CONTRACTOR TO SUBMIT SAMPLES AND PRODUCT INFORMATION FOR ALL PAVING, WALLS, FURNISHINGS, AND LIGHT FIXTURES FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS WITH STRUCTURAL STAMP FOR LAYOUT AND CONSTRUCTION OF ALL VERTICAL HARDSCAPE ELEMENTS, INCLUDING SITE WALLS, STAIRS, RAILINGS, FENCING, GATES, AND FOOTINGS FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.
- IF PROPOSED SITE ELEMENTS ARE IN CONFLICT WITH EXISTING UTILITIES BASED ON CONTRACTOR'S FINDINGS, CONTRACTOR TO ALERT OWNER AND LANDSCAPE ARCHITECT IN WRITING TO DETERMINE PATH FORWARD/ALTERNATE LOCATION.

LANDSCAPE ARCHITECT:  
ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
(443) 956-9278



ENGINEER:  
CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
(410) 601-3290



DEVELOPER/APPLICANT:  
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PROPERTY OWNER:  
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DESIGNED: CO, PB

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LICENSE NO.: 4064  
EXP. DATE: 11-05-2026



#### PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
COUNCIL DISTRICT #11

ePLAN NO.: N/A

DATE: 05/01/2025

PROJECT NO.: 2302

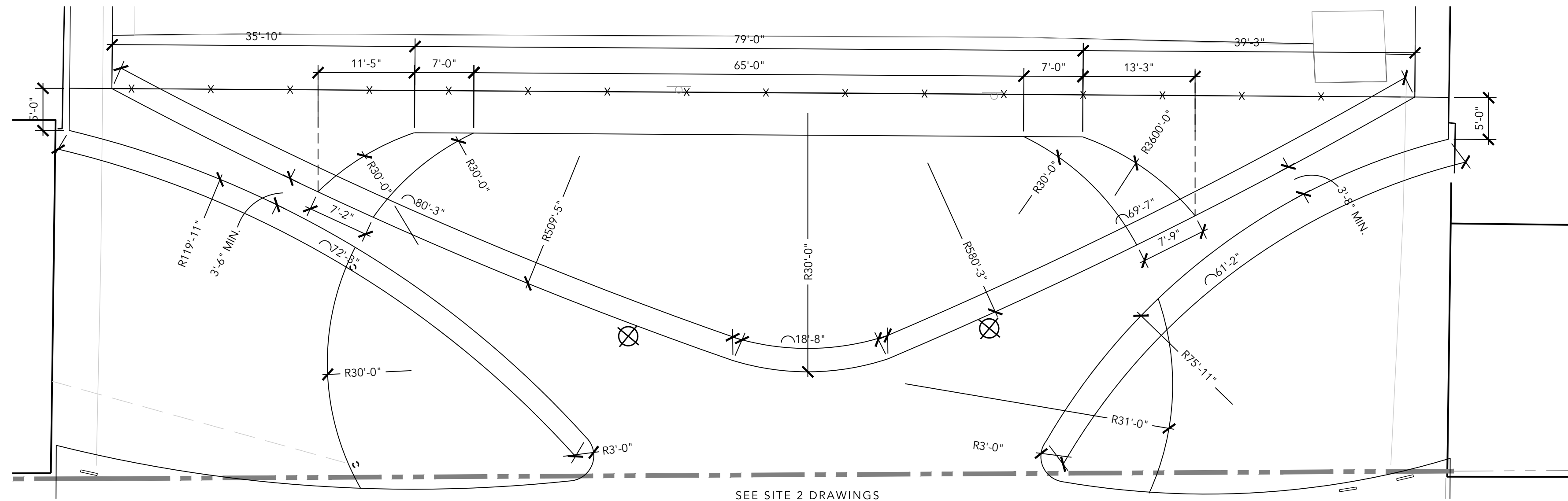
SHEET TITLE:

MATERIALS  
PLAN

DWG. NO.:

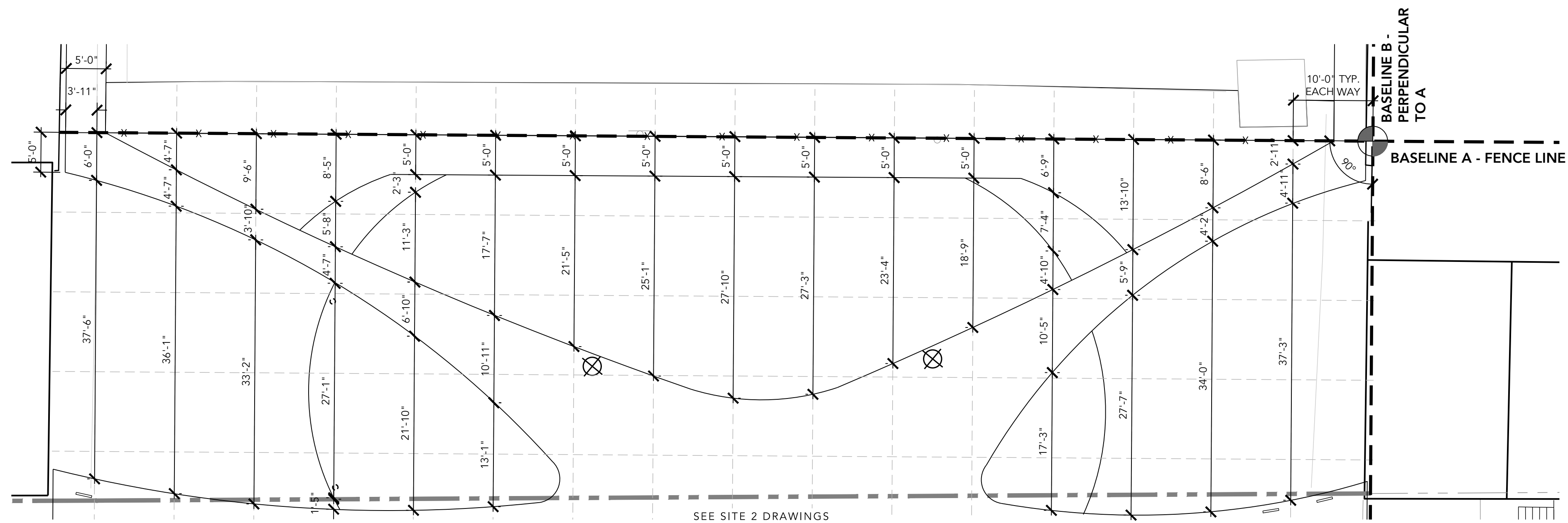
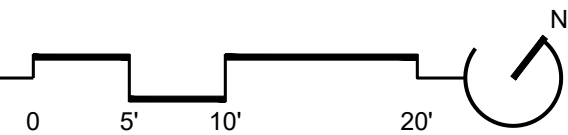
L102





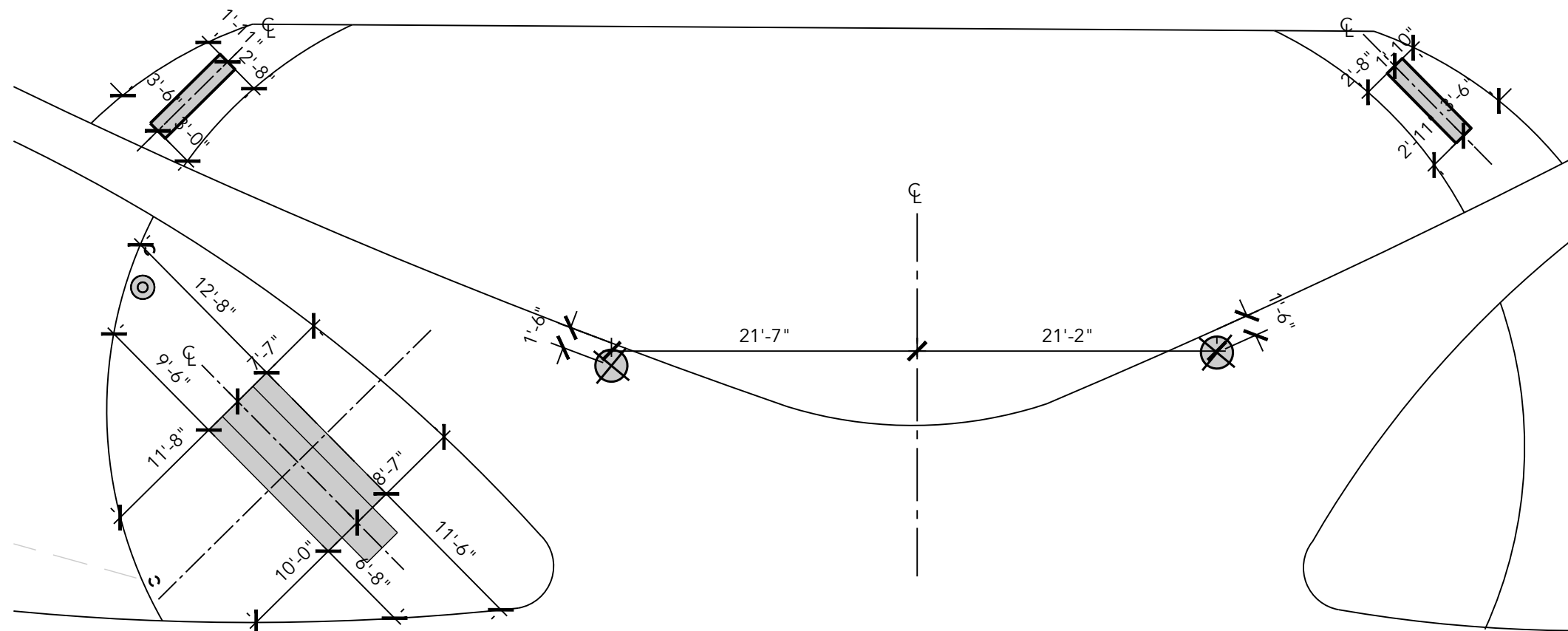
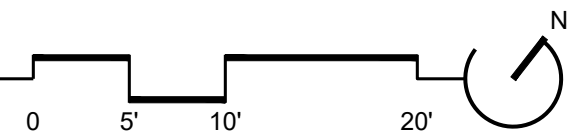
## 1 | SITE 1 LAYOUT PLAN: ARCS + RADII

SCALE: 1" = 10'



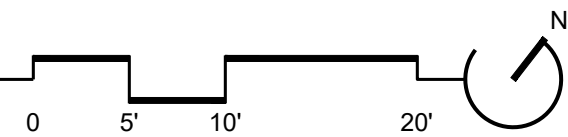
## 2 | SITE 1 LAYOUT PLAN: BASELINE + OFFSET

SCALE: 1" = 10'









## 3 | SITE 1 LAYOUT PLAN: AMENITIES

SCALE: 1" = 10'



## LAYOUT LEGEND

- |   |                                     |
|---|-------------------------------------|
|  | CENTER LINE                         |
|  | ALIGN                               |
|  | EXPANSION JOINT (@ CONCRETE PAVING) |
|  | CONTROL JOINT (@ CONCRETE PAVING)   |
| <b>LP</b>   | LOW POINT                           |
| <b>TW</b>   | TOP OF WALL                         |
| <b>BW</b>   | BOTTOM OF WALL (@ FINISH GRADE)     |
| <b>TC</b>   | TOP OF CURB                         |
| <b>BC</b>   | BOTTOM OF CURB                      |
|  | SLOPE DIRECTION                     |
| <b>+</b>  | SPOT ELEVATION                      |
|  | POINT OF BEGINNING                  |

LAYOUT NOTES.

1. REFER TO L102 FOR MATERIALS PLAN, L201 + L202 FOR HARDSCAPE DETAILS, L301 FOR PLANTING PLAN, AND L401 FOR PLANTING DETAILS.
2. REFER TO ELECTRICAL DRAWINGS AND LIGHTING MANUFACTURERS INDICATED FOR SITE LIGHTING. LAYOUT SHOWN FOR GENERAL REFERENCE. CONTRACTOR TO SUBMIT PLAN FOR LIGHTING LAYOUT FOR LANDSCAPE ARCHITECT REVIEW.
3. REFER TO CIVIL DRAWINGS FOR EXISTING CONDITIONS AND TOPOGRAPHY, FINAL GRADES, AND ALL DRAIN LOCATIONS.
4. PAVEMENT PATTERNS AND PAVING SCORING PATTERNS (CONTROL JOINTS) SHOWN REPRESENT PATTERNS TO BE INSTALLED. ORIENT PATTERNS AS SHOWN.
5. PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, STAIR, OR OTHER VERTICAL ELEMENT EDGES. EXPANSION JOINTS AT UNIT FERS ARE LOCATED IN SLAB BELOW.
6. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT AND CONSTRUCTION OF ALL SITE WALLS, STAIRS, RAILINGS, FENCING, GATES, SCREENS, PANELS ETC. FOR REVIEW BY ARCHITECT AND LANDSCAPE ARCHITECT.
7. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO INDICATE LAYOUT, SIZING, FOUNDATIONS, REINFORCING, AND JOINTING OF SITE ELEMENTS.

**LANDSCAPE ARCHITECT:**  
ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
(443) 956-9278



ENGINEER

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
(410) 601-3290



DEVELOPER/APPLICANT:

SOUTH BALTIMORE GATEWAY  
PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
(410) 424-7593

PROPERTY OWNER:

MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

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DRAWN: CO	CHECKED: HT, CO
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DESIGNED: CO, PB

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LANDSCAPE ARCHITECT UNDER THE LAWS  
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LICENSE NO.: 4064  
EXP. DATE: 11-05-2026



PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005

COUNCIL DISTRICT #1:

ePLAN NO.

N/A

DATE: \_\_\_\_\_

05/01/2025

PROJECT NO.:

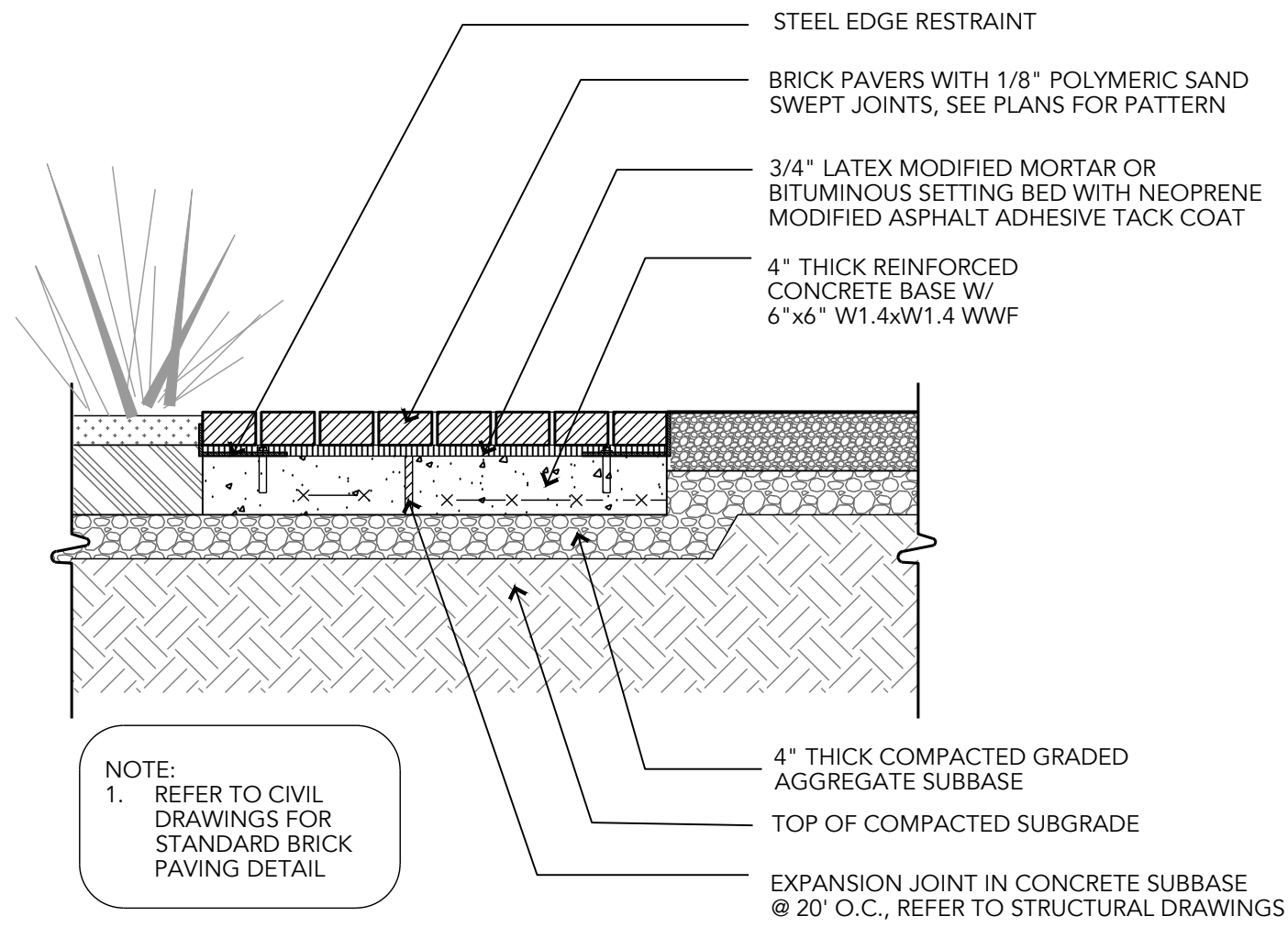
SHEET TITLE:

## LAYOUT PLAN

DWG. NO.:

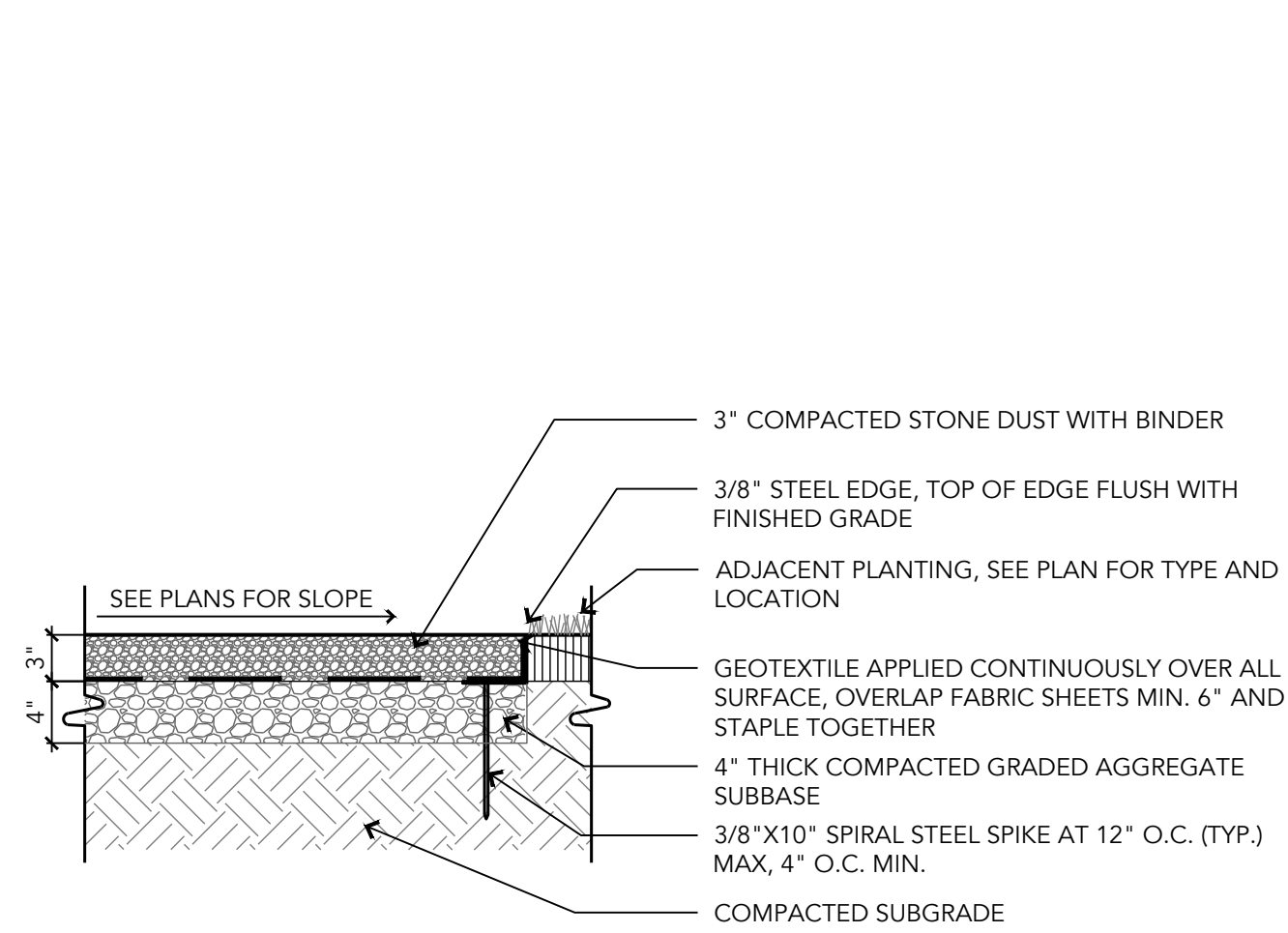
L103





## 1 BRICK PAVING: SALVAGED + NEW (P1)

SCALE: 1"=1'-0"



## 2 STONE DUST PAVING (P2)

SCALE: 1"=1'-0"

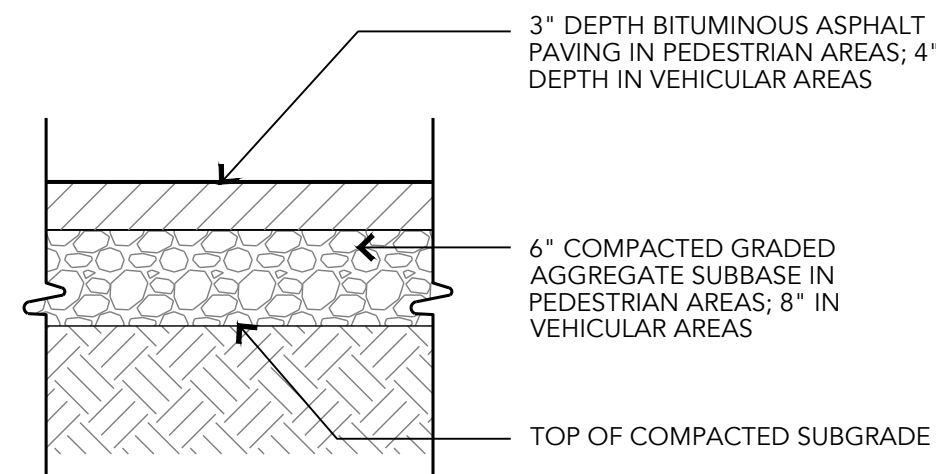


REFERENCE IMAGE (P2)

PRODUCT:  
STANCILLS ADA COMPLIANT  
WALKING PATH MIX  
STONE DUST WITH BINDER AND  
STEEL EDGING  
COLOR: ENGLISH GREY

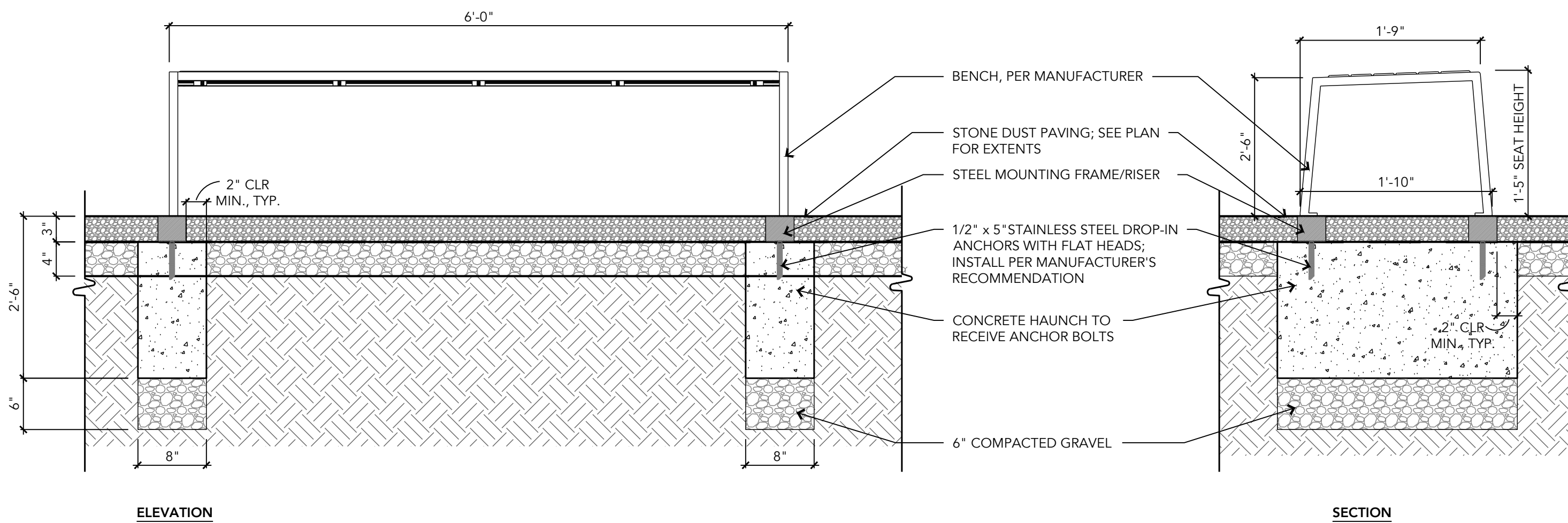
SUPPLIER:  
STANCILLS, INC.,  
PERRYVILLE, MD 21903  
WWW.STANCILLS.COM  
410-939-2224

NOTES:  
1. SEE PLAN FOR LOCATION.



## 3 PEDESTRIAN ASPHALT PAVING (P3)

SCALE: 1"=1'-0"



## 4 BACKLESS BENCH (F1)

SCALE: 1"=1'-0"

MANUFACTURER:  
VICTOR STANLEY  
DUNKIRK, MD  
VICTORSTANLEY.COM  
1.800.368.2573  
sales@victorstanley.com



PRODUCT REFERENCE IMAGE (F1)

### PRODUCTS:

- STELL BACKED BENCH, 8' L.  
PRODUCT #: STE-20 WITH ARMRESTS  
QTY: 2

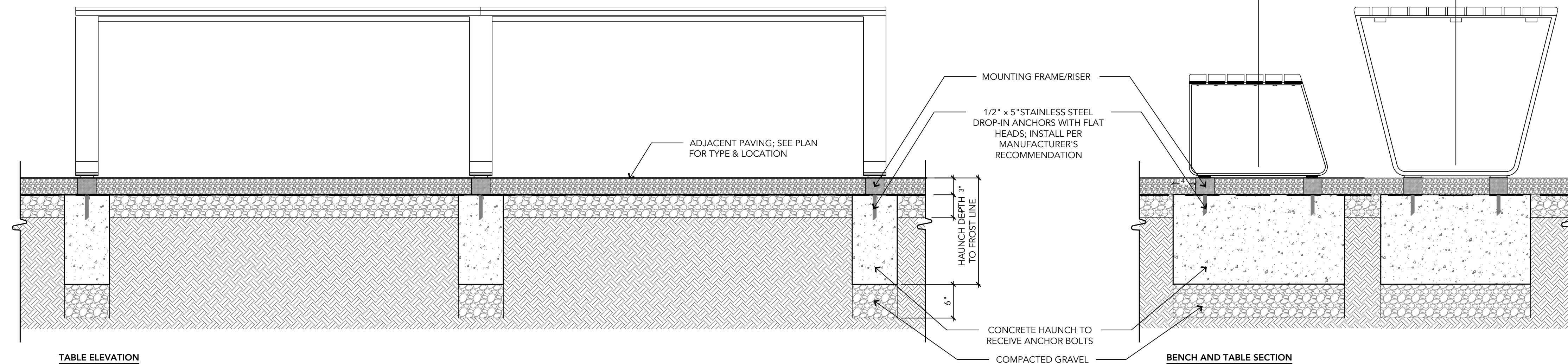
- STELL BACKLESS BENCH, 6' L.  
PRODUCT #: STE-23NA WITHOUT ARMRESTS  
QTY: 1

### MATERIALS:

- TITANIUM POWDER COATED METAL FRAME,  
STEEL SLATS

### NOTES:

- SEE PLAN FOR LOCATIONS.
- SURFACE MOUNT PER MANUFACTURER'S  
RECOMMENDATIONS.
- PROVIDE MATERIAL SAMPLES FOR LA  
REVIEW.



## 5 COMMUNITY DINING TABLE W/ BENCHES (F2)

SCALE: 1"=1'-0"

### GENERAL DETAILS NOTES:

- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT  
OF HARDSCAPE AND VERTICAL SITE ELEMENTS,  
REINFORCING, AND ALL ATTACHMENTS.
- CONTRACTOR TO SUBMIT SAMPLES AND PRODUCT DATA  
FOR ALL HARDSCAPE AND FURNISHINGS FINISHES AND  
PRODUCTS.
- CONTRACTOR TO PROVIDE MOCKUPS FOR ALL PAVING  
WORK.
- ALL ELECTRICAL BY OTHERS.



REFERENCE IMAGE (F2)

MANUFACTURER: SITEPIECES.COM  
SITE PIECES 1.800.484.0797  
DENVER, COLORADO hello@sitepieces.com

### PRODUCTS:

- MONOLINE SOLID SERIES  
COMMUNITY TABLE, 144" L  
PRODUCT # ML-SS-CMTEXT-144  
CUSTOMIZED FOR ONE-SIDE ADA ACCESS  
QTY: 1

- MONOLINE FLAT BENCH,  
NO ARMRESTS, 6' L.  
PRODUCT # ML-FLAT-72  
QTY: 2

### MATERIALS:

- ALUMINUM SLATS, ALUMINUM FRAME,  
STANDARD POWDERCOAT FINISH  
(COLOR TBD).

### NOTES:

- SEE PLAN FOR LOCATION.
- SURFACE MOUNT ON CONCRETE  
FOOTINGS BENEATH STONE DUST.

### LANDSCAPE ARCHITECT:

ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
(443) 956-9278



### ENGINEER:

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
(410) 601-3290



### DEVELOPER/APPLICANT:

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PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
(410) 424-7593

### PROPERTY OWNER:

MAYOR AND CITY COUNCIL  
100 N HOLIDAY STREET  
BALTIMORE, MD 21202

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### PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
COUNCIL DISTRICT #11

ePLAN NO.: N/A

DATE: 05/01/2025

PROJECT NO.: 2302

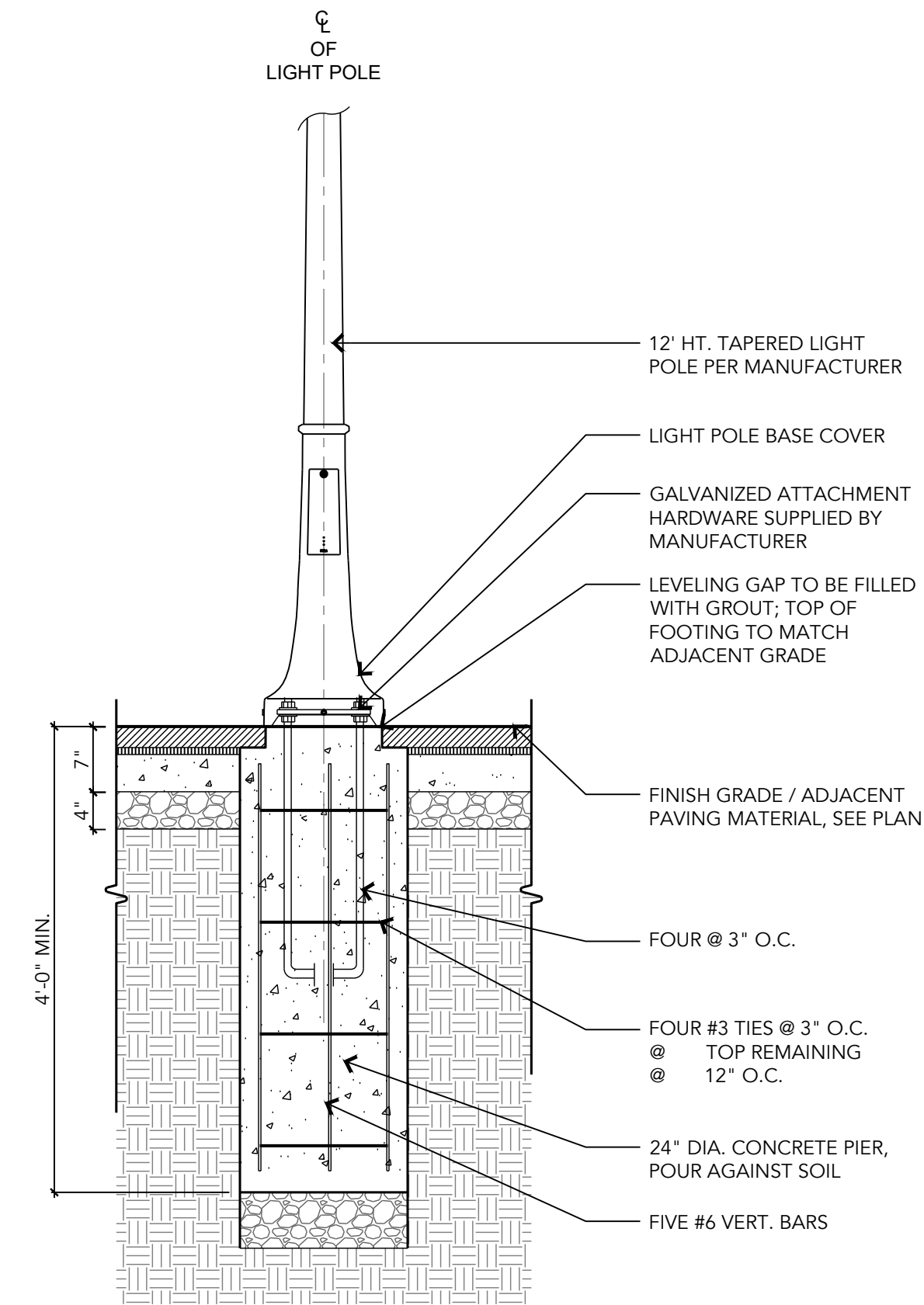
SHEET TITLE:

HARDSCAPE  
DETAILS

DWG. NO.:

L201

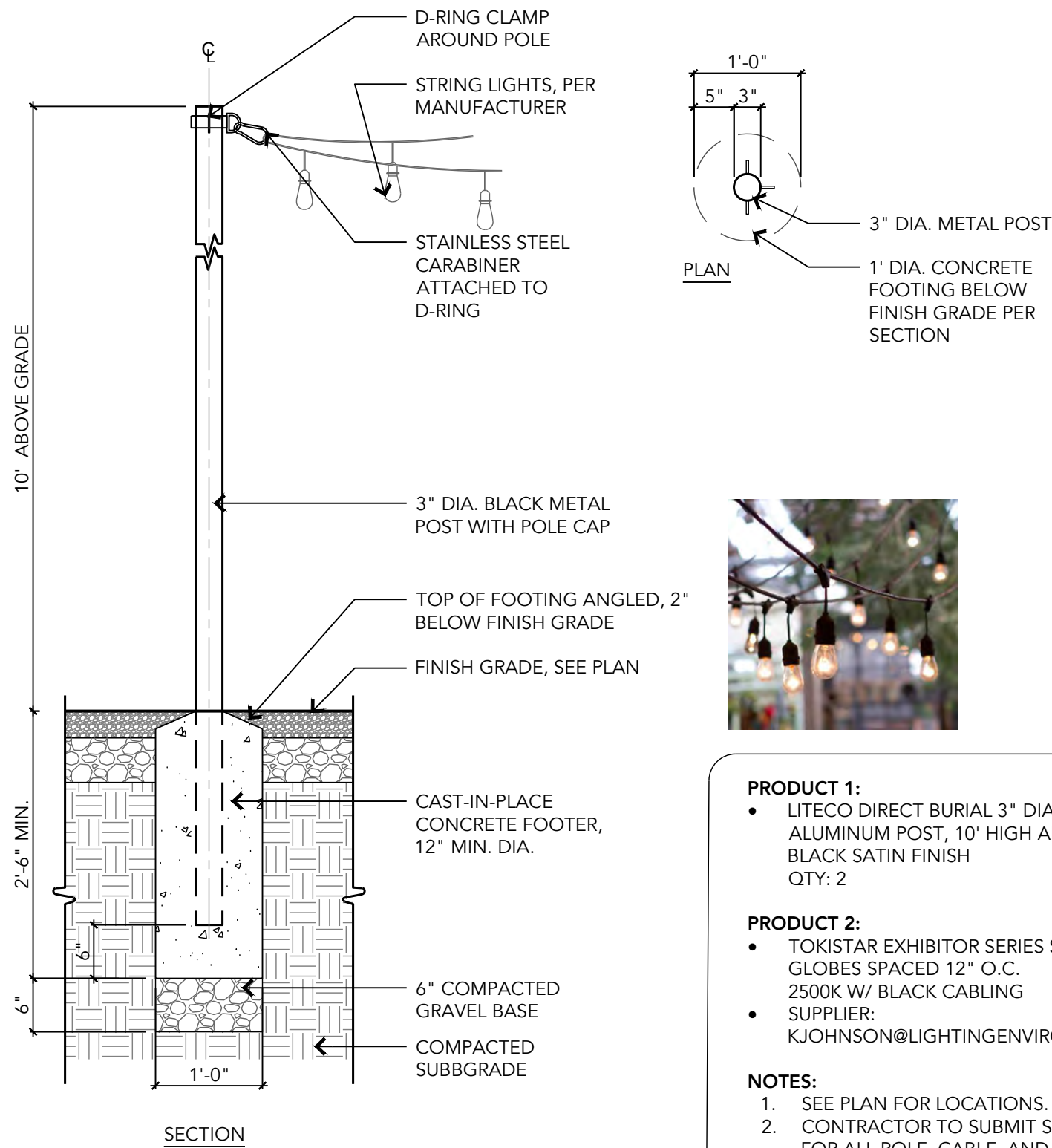




- PRODUCTS:**
- BALTIMORE CITY STANDARD HADCO LIGHT POLE, 12' HIGH QTY: 2
- MATERIALS:**
- ALUMINUM, BLACK POWDERCOAT FINISH
- NOTES:**
- SEE PLAN FOR LOCATIONS.
  - EMBEDDED MOUNT.
  - ASSUMED DESIGN SOIL BEARING VALUE = 2500 PSF.
  - ASSUMED DESIGN SOIL PASSIVE PRESSURE = 250 PCF.
  - ASSUMED DESIGN SOIL ACTIVE PRESSURE = 30 PCF.
  - SEE CONTRACT DRAWINGS FOR ALL INFORMATION NOT SHOWN.
  - PROVIDE 1/4\"/>

## 1 POLE LIGHT (L1)

SCALE: 3/4"=1'-0"



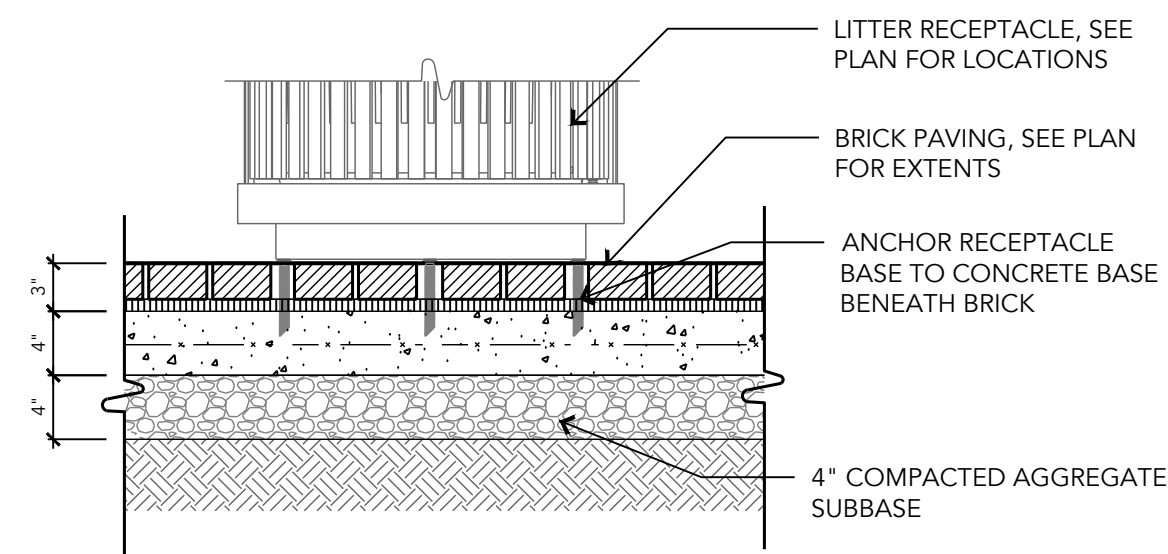
- PRODUCT 1:**
- LITECO DIRECT BURIAL 3" DIAMETER ALUMINUM POST, 10' HIGH ABOVE GRADE BLACK SATIN FINISH QTY: 2
- PRODUCT 2:**
- TOKISTAR EXHIBITOR SERIES S-14 CLEAR GLOBES SPACED 12" O.C. 2500K W/ BLACK CABLING
  - SUPPLIER: KJOHNSON@LIGHTINGENVIRONMENTS.COM
- NOTES:**
- SEE PLAN FOR LOCATIONS.
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL POLE, CABLE, AND STRING LIGHT ATTACHMENTS.

## 2 STRING LIGHTING (L2)

SCALE: 3/4"=1'-0"



REFERENCE IMAGE (F3)



**MANUFACTURER:**  
VICTOR STANLEY  
DUNKIRK, MD  
VICTORSTANLEY.COM  
1.800.368.2573  
sales@victorstanley.com

- PRODUCT:**
- SD-45 LITTER RECEPTACLE WITH SIDE DOOR + DOME LID
- MATERIALS:**
- POWDERCOAT FINISH
  - COLOR: TITANIUM
- NOTES:**
- SEE PLAN FOR LOCATIONS.
  - SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS.
  - CONTRACTOR TO PROVIDE PRODUCT INFORMATION AND COLOR SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW

## 3 LITTER RECEPTACLE (F3)

SCALE: 1"=1'-0"

### GENERAL DETAILS NOTES:

- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT OF HARDSCAPE AND VERTICAL SITE ELEMENTS, REINFORCING, AND ALL ATTACHMENTS.
- CONTRACTOR TO SUBMIT SAMPLES AND PRODUCT DATA FOR ALL HARDSCAPE AND FURNISHINGS FINISHES AND PRODUCTS.
- CONTRACTOR TO PROVIDE MOCKUPS FOR ALL PAVING WORK.
- ALL ELECTRICAL BY OTHERS.

**LANDSCAPE ARCHITECT:**  
ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
(443) 956-9278



**ENGINEER:**  
CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
(410) 601-3290



**DEVELOPER/APPLICANT:**  
SOUTH BALTIMORE GATEWAY  
PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
(410) 424-7593

**PROPERTY OWNER:**  
MAYOR AND CITY COUNCIL  
100 N HOLIDAY STREET  
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
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DRAWN: CO CHECKED: HT, CO

DESIGNED: CO, PB

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 4064  
EXP. DATE: 11-05-2026



### PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
COUNCIL DISTRICT #11

ePLAN NO.: N/A

DATE: 05/01/2025

PROJECT NO.: 2302

SHEET TITLE:

**HARDSCAPE  
DETAILS**

DWG. NO.:

**L202**



HARDSCAPE MATERIALS SPECIFICATIONS

SECTION 32 1400  
UNIT PAVERS

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.02 SUMMARY

- A. Section Includes:
- Clay brick unit pavers set in latex-modified mortar OR bituminous setting bed.
  - Steel edge restraints.
- B. Related Sections:
- Division 32 Section "Concrete Paving" for concrete base under unit pavers.

1.03 PRECONSTRUCTION TESTING

- A. Preconstruction Adhesion and Compatibility Testing: Submit to latex-additive manufacturer, for testing as indicated below, samples of paving materials that will contact or affect mortar and grout that contain latex additives.
- Use manufacturer's standard test methods to determine whether mortar and grout materials will obtain optimum adhesion with, and will be non-staining to, installed pavers and other materials constituting paver installation.

1.04 SUBMITTALS

- A. Product Data: For materials other than water and aggregates.
- B. Product Data: For the following:
- Pavers.
  - Edge restraints.
- C. Adhesion and Compatibility Test Reports: From latex-additive manufacturer for mortar and grout containing latex additives.
- D. Samples for Initial Selection: For the following:
- Each type of unit paver indicated.
  - Joint materials involving color selection.
  - Exposed edge restraints involving color selection.
- E. Samples for Verification:
- Full-size units of each type of unit paver indicated.
  - Joint materials.
  - Exposed edge restraints.

1.05 QUALITY ASSURANCE

- A. Source Limitations: Obtain each type of unit paver, joint material, and setting material from single source with resources to provide materials and products of consistent quality in appearance and physical properties.
- B. Mockups: Build mockups to verify selections made under Sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.
- Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.
- C. Pre-installation Conference: Conduct conference at project site.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Store pavers on elevated platforms in a dry location. If units are not stored in an enclosed location, cover tops and sides of stacks with waterproof sheeting, securely tied.
- B. Store cementitious materials on elevated platforms, under cover, and in a dry location. Do not use cementitious materials that have become damp.
- C. Store aggregates where grading and other required characteristics can be maintained and contamination avoided.
- D. Store liquids in tightly closed containers protected from freezing.

1.07 PROJECT CONDITIONS

- A. Cold-Weather Protection: Do not use frozen materials or materials mixed or coated with ice or frost. Do not build on frozen sub-grade or setting beds. Remove and replace unit paver work damaged by frost or freezing.
- B. Weather Limitations for Bituminous Setting Bed:
- Install bituminous setting bed only when ambient temperature is above 40 deg F (4 deg C) and when base is dry.
  - Apply asphalt adhesive/tack coat only when ambient temperature is above 50 deg F (10 deg C) and when temperature has not been below 35 deg F (2 deg C) for 12 hours immediately before application. Do not apply when setting bed is wet or contains excess moisture.
- C. Weather Limitations for Mortar and Grout:
- Cold-Weather Requirements: Comply with cold-weather construction requirements contained in ACI 530.1/ASCE 6/TMS 602.
  - Hot-Weather Requirements: Comply with hot-weather construction requirements contained in ACI 530.1/ASCE 6/TMS 602. Provide artificial shade and windbreaks and use cooled materials as required. Do not apply mortar to substrates with temperatures of 100 deg F (38 deg C) and higher.
    - When ambient temperature exceeds 100 deg F (38 deg C), or when wind velocity exceeds 8 mph (13 km/h) and ambient temperature exceeds 90 deg F (32 deg C), set pavers within 1 minute of spreading setting-bed mortar.

PART 2 – PRODUCTS

1. CLAY BRICK PAVER

- A. Clay Brick Pavers (P2)—Wire cut, square edge (both sides) clay paver complying with ASTM C902, Class SX, Type 1, Application PX and C67 for Freeze and Thaw. Paver shall have 8,000 psi minimum compressive strength and below 8% cold water absorption.
- Manufacturer: Subject to compliance with requirements, provide products by the following:
    - Pine Hall Brick, (800) 952-7425, <https://pinehallbrick.com/>.
  - Product: Pathway FR-4x8
  - Size: standard 4" x 8" size having dimensions of 2 1/4" x 4" x 8."
  - Color: Pathway Full Range
  - Pattern: See plans and details.

2. TRUNCATED DOME ADA PAVER

- A. Clay Brick Pavers (P3)—Wire cut, square edge (both sides) clay paver complying with ASTM C902, Class SX, Type 1, Application PX and C67 for Freeze and Thaw. Paver shall comply with R304.
- Manufacturer: Subject to compliance with requirements, provide products by the following:
    - Pine Hall Brick, (800) 952-7425, <https://pinehallbrick.com/>.
  - Product: Truncated Dome ADA Paver

- Size: standard 4" x 8" size having dimensions of 2 1/4" x 4" x 8."
- Color: Red
- Pattern: See plans and details.

3. EDGE RESTRAINTS

- A. Steel Edge Restraints: Manufacturer's standard L-shaped, 3/16-inch-thick by 2-1/4-inch-high steel edging with loops pressed from face to receive anchors at 12 inches o.c., with stainless steel anchors to bolt to concrete base.
- Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
    - Brickstop Corporation.
    - Curv-Rite, Inc.
    - Permaloc Corporation.
    - Sure-loc Edging Corporation.

4. ACCESSORIES

- A. Cork Joint Filler: Preformed strips complying with ASTM D 1752, Type II.
- B. Compressible Foam Filler: Preformed strips complying with ASTM D 1056, Grade 2A1.
- C. Sand for Joints: Polymeric Paver Sand complying with ANSI A118.7.
- Manufacturer: Subject to compliance with requirements, provide polymer-modified joint sand by one of the following: Joint-Lock Polymeric Paver Sand or approved equal.
  - Provide sand of color needed to produce required joint color.

5. MORTAR SETTING BED MATERIALS

- A. Latex-modified mortar, as approved by Baltimore City Department of Transportation.
- B. Basis of Design: MVIS Thin Brick Mortar is a multi-use, polymer fortified adhesive mortar or approved equal.

6. BITUMINOUS SETTING BED MATERIALS

- A. Primer for Base: ASTM D 2028, cutback asphalt, grade as recommended by unit paver manufacturer.
- B. Fine Aggregate for Setting Bed: ASTM D 1073, No. 2 or No. 3.
- C. Asphalt Cement: ASTM D 3381, Viscosity Grade AC-10 or Grade AC-20.
- D. Neoprene-Modified Asphalt Adhesive: Paving manufacturer's standard adhesive consisting of oxidized asphalt combined with 2 percent neoprene and 10 percent long-fibered mineral fibers containing no asbestos.
- E. Water: Potable.

7. BITUMINOUS SETTING BED MIX

- A. Mix bituminous setting-bed materials at an asphalt plant in approximate proportion, by weight, of 7 percent asphalt cement to 93 percent fine aggregate unless otherwise indicated. Heat mixture to 300 deg F (149 deg C).

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Examine areas indicated to receive paving, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance.
- B. Where pavers are to be installed over waterproofing, examine waterproofing installation, with waterproofing Installer present, for protection from paving operations, including areas where waterproofing system is turned up or flashed against vertical surfaces.
- C. Proceed with installation only after unsatisfactory conditions have been corrected and waterproofing protection is in place.

3.02 PREPARATION

- A. Remove substances from concrete substrates that could impair asphalt bond, including curing and sealing compounds, form oil, and laitance.
- B. Sweep concrete substrates to remove dirt, dust, debris, and loose particles.
- C. Proof-roll prepared subgrade according to requirements in Division 31 Section "Earth Moving" to identify soft pockets and areas of excess yielding. Proceed with unit paver installation only after deficient subgrades have been corrected and are ready to receive subbase and base course for unit pavers.

3.03 INSTALLATION, GENERAL

- A. Do not use unit pavers with chips, cracks, voids, discolorations, or other defects that might be visible or cause staining in finished work.
- B. Mix pavers from several pallets or cubes, as they are placed, to produce uniform blend of colors and textures.
- C. Cut unit pavers with motor-driven masonry saw equipment to provide clean, sharp, unchipped edges. Cut units to provide pattern indicated and to fit adjoining work neatly. Use full units without cutting where possible. Hammer cutting is not acceptable.
- D. Handle protective-coated brick pavers to prevent coated surfaces from contacting backs or edges of other units. If, despite these precautions, coating does contact bonding surfaces of brick, remove coating from bonding surfaces before setting brick.
- E. Joint Pattern: As indicated on drawings.
- F. Pavers over Waterproofing: Exercise care in placing pavers and setting materials over waterproofing so protection materials are not displaced and waterproofing is not punctured or otherwise damaged. Carefully replace protection materials that become displaced and arrange for repair of damaged waterproofing before covering with paving.
- Provide joint filler at waterproofing that is turned up on vertical surfaces unless otherwise indicated.
- G. Tolerances: Do not exceed 1/32-inch unit-to-unit offset from flush (lippage) or 1/8 inch in 10 feet from level, or indicated slope, for finished surface of paving.
- H. Expansion and Control Joints: Provide cork joint filler at locations and of widths indicated. Install joint filler before setting pavers. Make top of joint filler flush with top of pavers.
- I. Provide edge restraints as indicated. Install edge restraints before placing unit pavers.
- Install edge restraints to comply with manufacturer's written instructions. Install stakes at intervals required to hold edge restraints in place during and after unit paver installation.
  - For metal edge restraints with top edge exposed, drive stakes at least 1 inch (25 mm) below top edge.

3.04 BITUMINOUS SETTING BED APPLICATIONS

- A. Apply primer to concrete slab or binder course immediately before placing setting bed.

- B. Prepare for setting-bed placement by locating 3/4-inch- (19-mm-) deep control bars approximately 11 feet (3.3 m) apart and parallel to one another, to serve as guides for striking board. Adjust bars to subgrades required for accurate setting of paving units to finished grades indicated.
- C. Place bituminous setting bed where indicated, in panels, by spreading bituminous material between control bars. Spread mix at a minimum temperature of 250 deg F (121 deg C). Strike setting bed smooth, firm, even, and not less than 3/4 inch (19 mm) thick. Add fresh bituminous material to low, porous spots after each pass of striking board. After each panel is completed, advance first control bar to next position in readiness for striking adjacent panels. Carefully fill depressions that remain after removing depth-control bars.
- Roll setting bed with power roller to a nominal depth of 3/4 inch (19 mm). Adjust thickness as necessary to allow accurate setting of unit pavers to finished grades indicated. Complete rolling before mix temperature cools to 185 deg F (85 deg C).
- D. Apply neoprene-modified asphalt adhesive to cold setting bed by squeegeeing or troweling to a uniform thickness of 1/16 inch (1.6 mm). Proceed with setting of paving units only after adhesive is tacky and surface is dry to touch.
- E. Place pavers carefully by hand in straight courses, maintaining accurate alignment and uniform top surface. Protect newly laid pavers with plywood panels on which workers can stand. Advance protective panels as work progresses, but maintain protection in areas subject to continued movement of materials and equipment to avoid creating depressions or disrupting alignment of pavers. If additional leveling of paving is required, and before treating joints, roll paving with power roller after sufficient heat has built up in the surface from several days of hot weather.
- F. Joint Treatment: Place unit pavers with hand-tight joints. Fill joints by sweeping polymeric sand over paved surface until joints are filled. Remove excess polymeric sand after joints are filled.

3.05 REPAIRING AND CLEANING

- A. Remove and replace unit pavers that are loose, chipped, broken, stained, or otherwise damaged or that do not match adjoining units. Provide new units to match adjoining units and install in same manner as original units, with same joint treatment and with no evidence of replacement.
- B. Cleaning: Remove excess sand from exposed paver surfaces; wash and scrub clean.
- Remove temporary protective coating as recommended by coating manufacturer and as acceptable to paver and grout manufacturers.
  - Do not allow protective coating to enter floor drains. Trap, collect, and remove coating material.

END OF SECTION

SECTION 329310  
DECORATIVE STONE

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
- Stone dust paving.
  - Steel edging.
  - Separation fabrics.

1.2 COORDINATION

- A. Coordination with Lawn and Plants: Install decorative stone before planting and turf areas unless otherwise indicated.
- B. Pre-Installation Meeting: Convene a pre-installation site meeting at least 7 days prior to commencing work at site. Require attendance of parties directly affecting work of this section, including Landscape Architect. Review work activities and design goals. Anticipate sending Landscape Architect progress photos of initial installations for approval and/or other recommendations.

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- Source: Include quarry source of tumbled gravel, river jack stone, and boulders.
  - Photographs: Include color photographs in digital format of each required stone as it will be furnished to Project. Include a tape measure or other measuring device in each photograph.

1.4 QUALITY ASSURANCE

- A. Source Limitations: Obtain each type of stone from one source with resources to provide materials and products of consistent quality in appearance and physical properties.

PART 2 - PRODUCTS

2.1 STONE DUST PAVING

- A. Materials: Natural stone dust on graded aggregate base.

- Manufacturer: Subject to compliance with requirements, provide products by the following:
  - Stancills, Inc. (410) 939-2224, <https://stancills.com/>
- Product: ADA Compliant Walking Path Mix with Organic-lock binder
- Color: English grey

2.2 EDGE RESTRAINT

- A. Edging: 3/8" Steel landscape edging. Black enamel-based paint coat. 10" minimum length spiral steel stakes, spacing 12" O.C. average/48" O.C. maximum intervals.

2.7 SEPARATION FABRIC

- A. Nonwoven geotextile manufactured for separation applications and made of polypropylene, polyolefin, or polyester fibers or combination of them.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 CLEANING AND PROTECTION

- A. Remove surplus stone and waste material legally dispose of them off Owner's property.
- B. After installation and before Substantial Completion, remove dirt and debris from all exposed stone.

END OF SECTION 329310

LANDSCAPE ARCHITECT:

ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
(443) 956-9278



ENGINEER:

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
(410) 601-3290



DEVELOPER/APPLICANT:

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PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
(410) 424-7593

PROPERTY OWNER:

MAYOR AND CITY COUNCIL  
100 N HOLIDAY STREET  
BALTIMORE, MD 21202

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DRAWN: CO      CHECKED: HT, CO

DESIGNED: CO, PB

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LICENSE NO.: 4064  
EXP. DATE: 11-05-2026



PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005

COUNCIL DISTRICT #11

ePLAN NO.:      N/A

DATE:      05/01/2025

PROJECT NO.:      2302

SHEET TITLE:

HARDSCAPE  
NOTES

DWG. NO.:


L203





QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
CANOPY TREES.						
1	NS	<i>Nyssa sylvatica</i>	Black Gum	2.5" Cal.	B&B/Cont.	Single-stem, full canopy
2	OA	<i>Oxydendrum arboreum</i>	Sourwood	2.5" Cal.	B&B/Cont.	Single-stem, full canopy
ORNAMENTAL/UNDERSTORY TREES.						
1	CF	<i>Cornus florida</i>	Flowering Dogwood	1.5" Cal.	B&B/Cont.	Single-stem, full canopy
1	SA	<i>Sassafras albidum</i>	Sassafras	1.5" Cal.	B&B/Cont.	Single-stem, full canopy
SHRUBS.						
5	CA	<i>Clethra alnifolia</i> 'Hummingbird'	Dwarf Summersweet	#3	Cont.	24" ht., 3' O.C.
10	CS	<i>Cornus sericea</i> 'Artic Fire'	Artic Fire Dogwood	#3	Cont.	24" ht., 3' O.C.
3	HQ	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	#7	Cont.	48" O.C.
0	IV	<i>Itea virginica</i> 'Sprich'	Little Henry Sweetspire	#3	Cont.	24" ht., 3' O.C.
2	LB	<i>Lindera benzoin</i>	Spicebush	#10	Cont.	4-5' ht.
90	XS	<i>Xanthorhiza simplicissima</i>	Yellowroot	#3	Cont.	24" O.C.
SEDGE PLUG MIX + SPRING EPHEMERALS.						
550	CCH	<i>Carex cherokeensis</i>	Cherokee sedge	LP	Plug	12" O.C.
550	CPE	<i>Carex pensylvanica</i>	Pennsylvania Sedge	LP	Plug	12" O.C.
550	CPS	<i>Carex pensylvanica</i> 'Straw Hat'	Straw Hat' Pennsylvania Sedge	LP	Plug	12" O.C.
550	CWO	<i>Carex woodii</i>	Wood's Sedge	LP	Plug	12" O.C.
120	CSC	<i>Camassia scilloides</i>	Wild Hyacinth	bulbs	topsize	15" O.C.
120	MVI	<i>Mertensia virginica</i>	Virginia Bluebells	bulbs	topsize	15" O.C.
ORNAMENTAL GRASSES.						
14	CLA	<i>Chasmanthium latifolium</i>	Northern Sea-Oats	#1	Cont.	24" O.C.
32	PVN	<i>Panicum virgatum</i> 'Northwind'	Northwind Switchgrass	#1	Cont.	24" O.C.
62	SHE	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#1	Cont.	18" O.C.

PERENNIALS.	
62	AHU <i>Amsonia hubrichtii</i>
70	ACA <i>Asarum canadense</i>
62	ESF <i>Echinacea</i> x 'Santa Fe'
18	CVI <i>Chrysogonum virginianum</i>
68	DPU <i>Dennstaedtia punctilobula</i>
26	DER <i>Dryopteris erythrosora</i> 'Brilliance'
22	IVE <i>Iris versicolor</i> 'Purple Flame'
54	GMA <i>Geranium maculatum</i>
68	PDV <i>Phlox divaricata</i>
46	RFU <i>Rudbeckia fulgida</i> 'Little Goldstar'
88	SSP <i>Solidago sphaecelata</i> 'Golden Fleece'
176	SOB <i>Symphitrichum oblongifolium</i> 'October Skies'
26	TCO <i>Tiarella cordifolia</i>



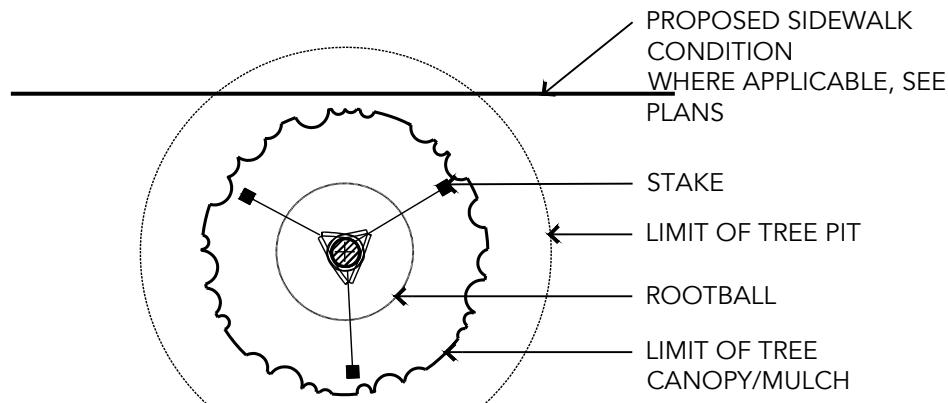
PROPOSED GROUNDCOVER, PERENNIAL, AND ORNAMENTAL GRASS PLANTINGS; PATTERNS VARY

MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

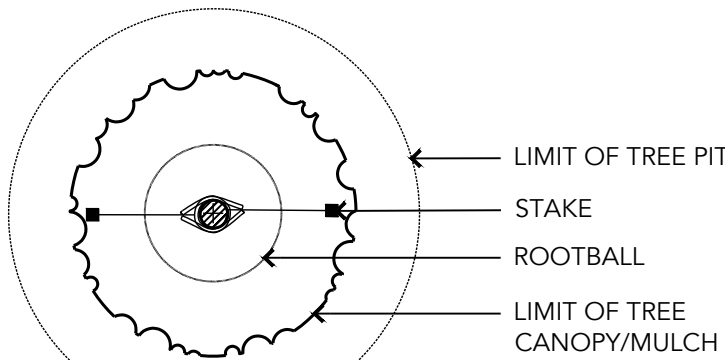
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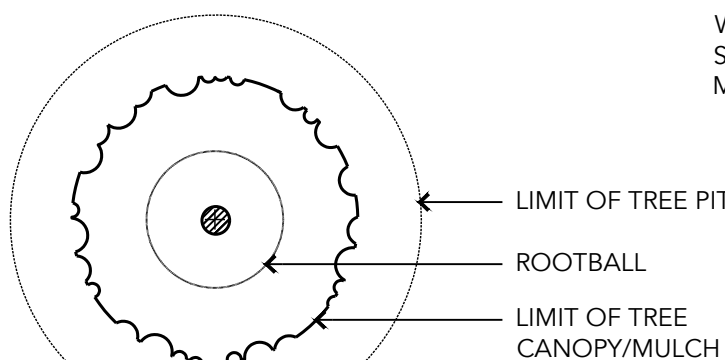




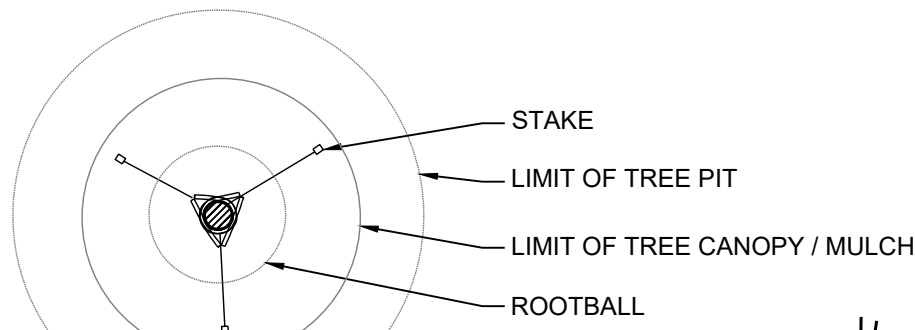
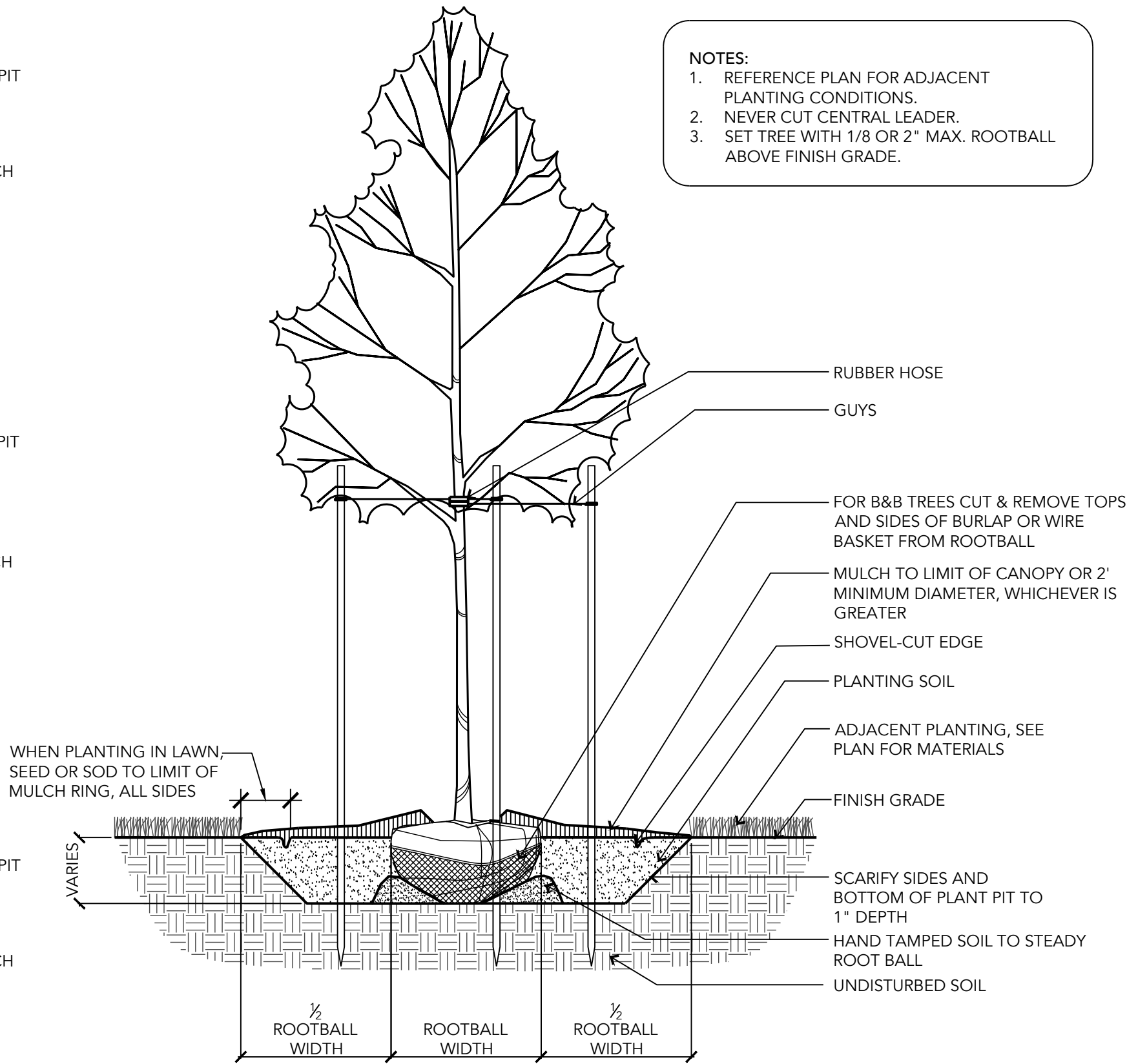
PLAN - GREATER THAN 4', 12' TO 14' HT.



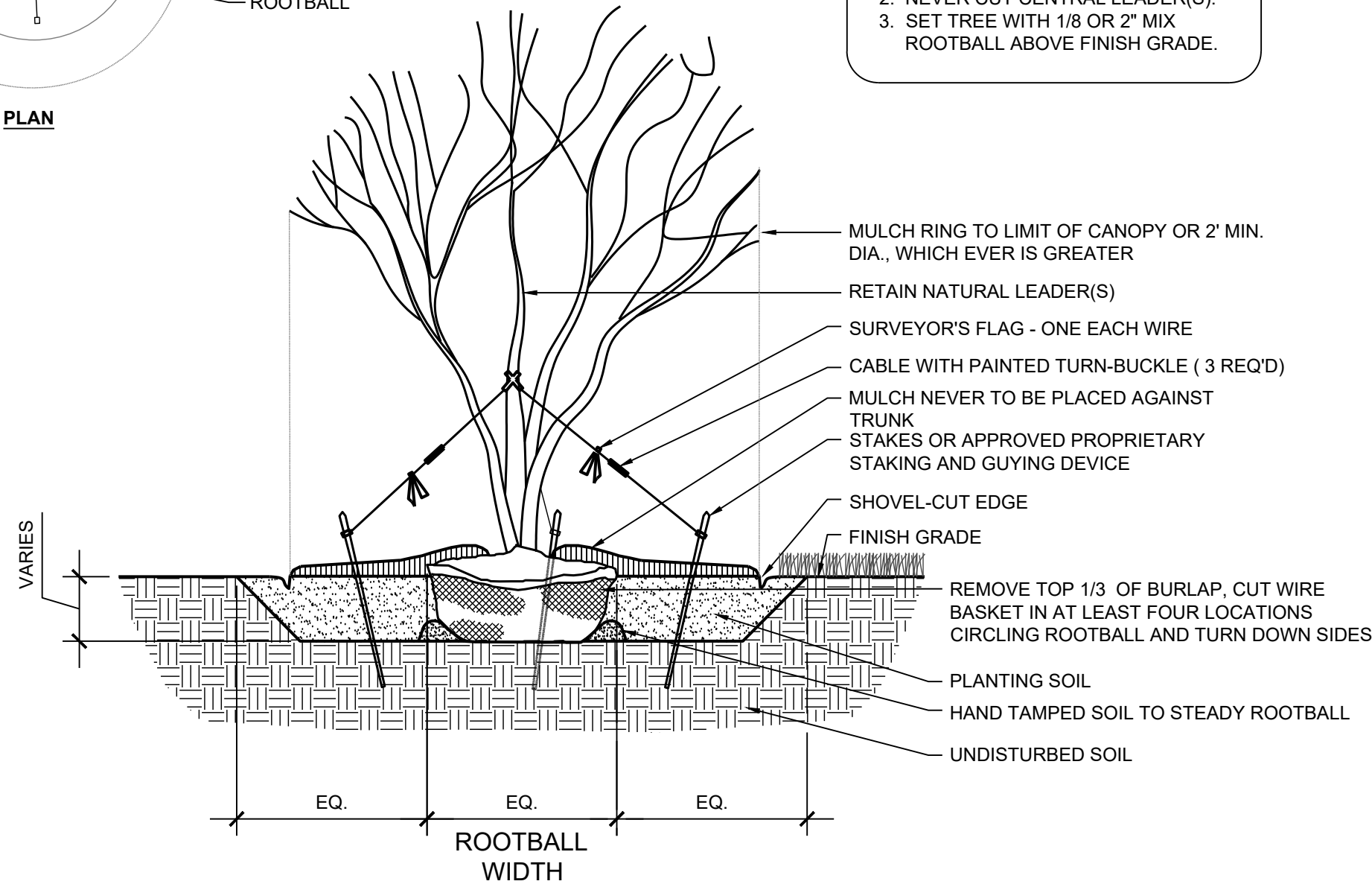
PLAN - 2' TO 4', UP TO 14' HT.



PLAN - UP TO 2"



PLAN

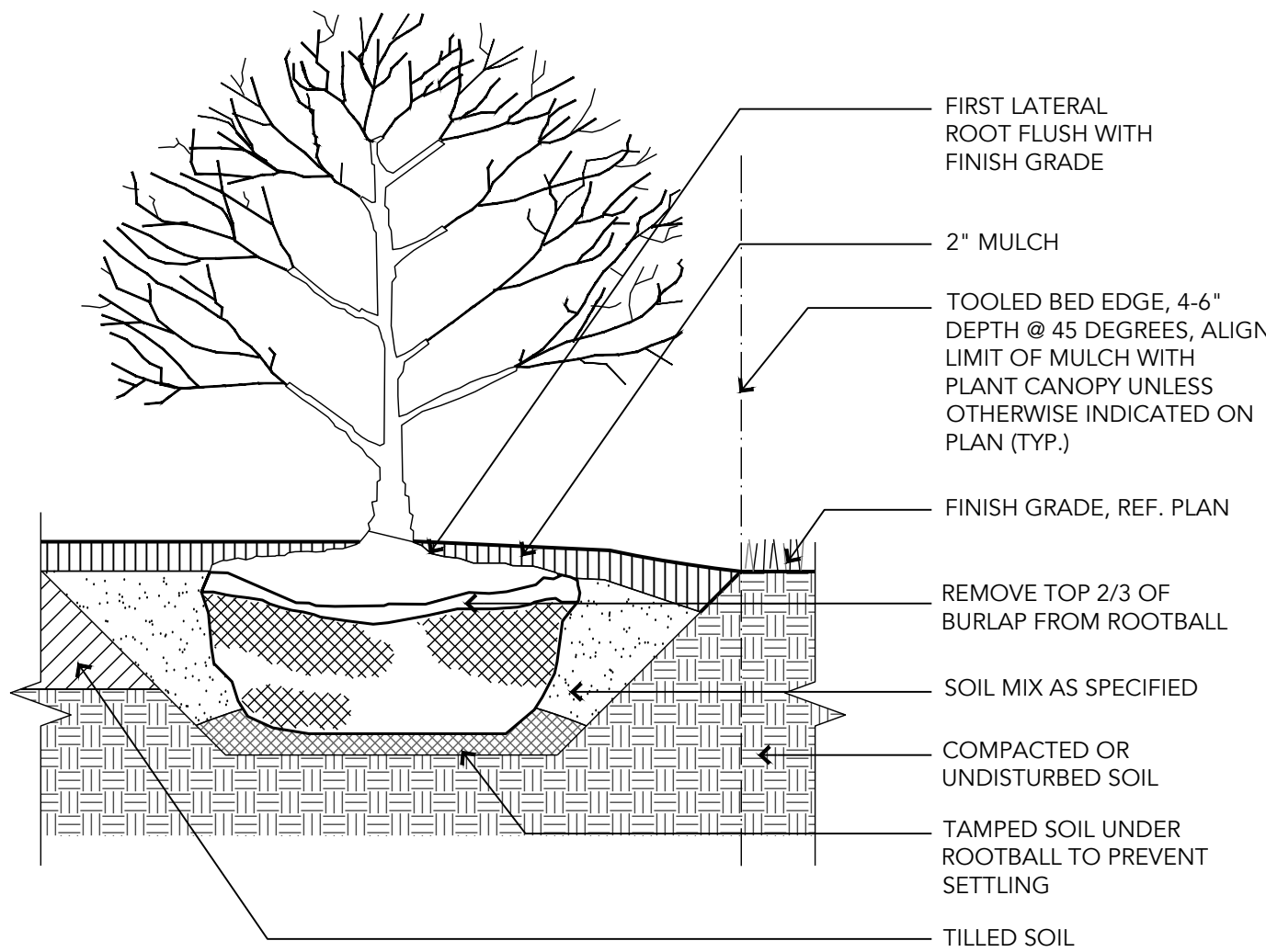


## 1 SINGLE STEM TREE PLANTING (SHADE OR EVERGREEN)

SCALE: 1"= 1/2'-0"

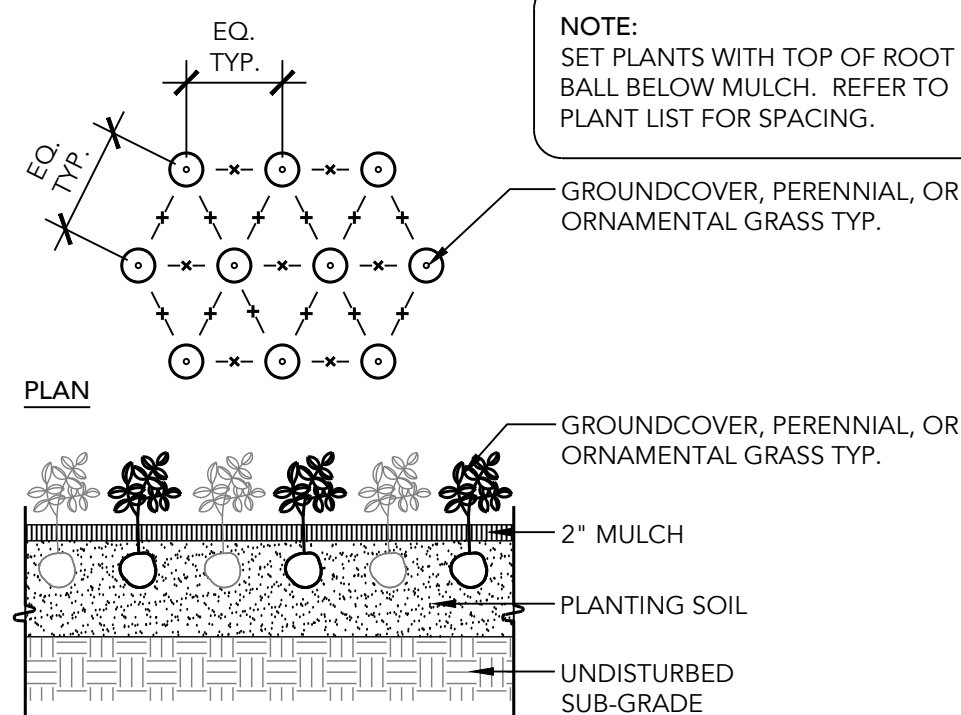
## 2 MULTI-STEM TREE PLANTING

SCALE: 1"= 1/2'-0"



## 3 SHRUB PLANTING

SCALE: 1"= 1'-0"



## 4 HERBACEOUS PLANTING

SCALE: 1"= 1'-0"

LANDSCAPE ARCHITECT:  
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SHEET TITLE:

PLANTING  
DETAILS

DWG. NO.:

L401



SOIL PREPARATION NOTES

- THESE NOTES SERVE AS A GENERAL GUIDE ONLY, PER CSI SPECIFICATION SECTION 329113 (SOIL PREPARATION); REFER TO STANDARD CSI SPECIFICATIONS SECTIONS 311000 (SITE CLEARING FOR TOPSOIL STRIPPING AND STOCKPILING) AND 329113 (SOIL PREPARATION) FOR DETAILED INSTRUCTIONS ON SITE CLEARING, EROSION CONTROL, SOIL STORAGE, TESTING, PRODUCTS AND EXECUTION PROCEDURES.
- THE CONTRACTOR SHALL ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM PRE-CONSTRUCTION SOIL ANALYSIS ON EXISTING, ON-SITE SOIL AND IMPORTED SOIL. SOIL TEST REPORTS TO PROVIDE: PERCOLATION RATES, PHYSICAL AND/OR FERTILITY ANALYSIS ACCORDING TO SSSA NAPT SERA-6; PRESENCE OF HEAVY METALS. RECOMMENDATIONS FOR AMENDMENTS, INCLUDING NITROGEN, PHOSPHORUS, POTASSIUM, AND MICRONUTRIENTS; FERTILIZER TYPE AND APPLICATION, AND ORGANIC MATTER CONTENT, ACCORDING TO SSSA'S METHOD OF SOIL ANALYSIS PART 3 CHEMICAL METHODS. RECOMMENDATIONS TO BE PROVIDED IN WEIGHT PER 1000 SF FOR 6 INCH DEPTH OF SOIL.
- SOIL MATERIALS TO BE DELIVERED PACKAGED IN ORIGINAL, UNOPENED CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, NAME AND ADDRESS OF MANUFACTURER, AND COMPLIANCE WITH STATE AND FEDERAL LAWS IF APPLICABLE; APPROPRIATE CERTIFICATES TO ACCOMPANY DELIVERY OF BULK FERTILIZERS AND AMENDMENTS.
- DO NOT DUMP/STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, PAVEMENT, EXISTING TURF OR PLANT AREAS INCLUDING CRITICAL ROOT ZONES OF EXISTING TREES OR AGAINST TREE TRUNKS.
- BASED ON SOIL TESTING RECOMMENDATION, PROVIDE AMENDED ON-SITE TOPSOIL, IMPORTED OR MANUFACTURED TOPSOIL CONSISTING OF MANUFACTURER'S BASIC SANDY LOAM ACCORDING TO USDA TEXTURES, BLENDED IN A FACILITY WITH SAND, STABILIZED ORGANIC SOIL AMENDMENTS, AND OTHER MATERIALS TO PRODUCE VIABLE PLANTING SOIL. SOIL MUST NOT CONTAIN ANY EXTRANEIOUS MATERIALS THAT COULD BE HARMFUL TO PLANT GROWTH, NOR ANY STONES, ROOTS, POCKETS OF COARSE SAND, ETC., EXCEEDING 1 1/2 INCHES IN ANY DIMENSION.
- BLEND AMENDED ONSITE SOIL WITH LOOSE ORGANIC COMPOST TO SOIL RATIO OF 1:4 BY VOLUME.
- APPLY INORGANIC AND ORGANIC SOIL AMENDMENTS AND FERTILIZERS PER RECOMMENDATION OF QUALIFIED SOIL TESTING AGENCY.
- FOR EITHER PLACING AND MIXING PLANTING SOIL OVER EXPOSED SUBGRADE, OR PLACING IMPORTED/MANUFACTURED PLANTING SOIL OVER EXPOSED SUBGRADE:
  - TILL SUBGRADE TO A MINIMUM DEPTH OF 8 INCHES UNLESS OTHERWISE INDICATED ON SOIL PLAN OR TREE PRESERVATION PLANS;
  - APPLY HALF THE THICKNESS OF PLANTING SOIL OVER PREPARED, LOOSENED SUBGRADE, MIXING INTO TOP 4 INCHES OF SUBGRADE;
  - SPREAD REMAINDER OF PLANTING SOIL TO TOTAL DEPTH OF 6 INCHES OR AS INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT;
  - COMPACT EACH LIFT OF PLANTING SOIL TO 75 TO 82 PERCENT OF MAXIMUM STANDARD PROCTOR DENSITY ACCORDING TO ASTM D698 UNLESS OTHERWISE INDICATED ON DRAWINGS;
  - GRADE PLANTING SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE;
  - ROLL AND RAKE TO REMOVE RIDGES AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- IDENTIFY PROTECTION ZONES ACCORDING TO SECTION 015639 (TEMPORARY TREE AND PLANT PROTECTION), AND PROHIBIT PRACTICES IN THESE AREAS SUCH AS STORAGE OF MATERIALS, PARKING VEHICLES OR EQUIPMENT, VEHICLE OR FOOT TRAFFIC, ERECTION OF STRUCTURES, IMPOUNDMENT OF WATER, AND EXCAVATION.
- IF PLANTING SOIL OR SUBGRADE IS DISTURBED OR CONTAMINATED BY FOREIGN OR DELETERIOUS MATERIALS OR LIQUIDS, REMOVE THE SOIL AND CONTAMINATION, RESTORE SUBGRADE, AND REPLACE CONTAMINATED PLANTING SOIL WITH NEW PLANTING SOIL.
- IF SUBGRADE IS OVERCOMPACTED, UTILIZE DECOMPACTION METHODS SUCH AS VERTICAL MULCHING, RADIAL TRENCHING, SHALLOW AERATION, OR EARTHWORMS, UTILIZING CAUTION IN ALL AREAS OF CRITICAL ROOTS.
- PROTECT AREAS ADJACENT TO PLANTING SOIL PREPARATION AND PLACEMENT AREAS FROM CONTAMINATION. KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
- REMOVE SURPLUS SOIL AND WASTE MATERIAL INCLUDING EXCESS SUBSOIL, UNSUITABLE MATERIALS, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY UNLESS OTHERWISE INDICATED.

PLANTING NOTES

- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE CONTRACT DOCUMENTS.
- CONTRACTOR TO PROVIDE SAMPLE PHOTO SUBMITTALS OF PROPOSED PLANT MATERIAL FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT BEFORE MAKING ANY SPECIES SUBSTITUTIONS OR CHANGES.
- ALL PLANT MATERIALS SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION. ANY PLANT MATERIAL EXHIBITING A SPINDLY OR LOP-SIDED HABIT OR ANY OTHER FEATURE THAT DETRACTS FROM ITS HEALTH OR APPEARANCE WILL BE REJECTED.
- ALL PLANTING OPERATIONS SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.
- CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS INCLUDING BELOW AND ABOVE GROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE LANDSCAPED AREA PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONDITIONS ARISE IN THE FIELD WHICH NECESSITATE SHIFTING OF THE PLANT MATERIAL, THE LANDSCAPE ARCHITECT IS TO BE CONSULTED PRIOR TO RELOCATION.
- PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING CONDITIONS, INCLUDING PLANTS, TURF, PAVING, AND STRUCTURES DURING PLANTING OPERATIONS. ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS.
- ALL AREAS DISTURBED BY CONSTRUCTION, GRADING, OR PLANTING OPERATIONS SHALL BE FINE GRADED AND PLANTED PER PLAN. SOD ANY DISTURBED AREAS NOT INDICATED AS RECEIVING PLANTS, PAVING, OR MULCH.
- PLACE PLANTS DURING LAYOUT FOR BEST APPEARANCE FOR REVIEW AND FINAL ORIENTATION BY LANDSCAPE ARCHITECT.
- ALL PLANT BEDS SHALL BE CONTAINED WITH A 4" DEEP SPACED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
- ALL PLANT BEDS AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 2" UNLESS OTHERWISE NOTED ON DRAWINGS OR SPECIFICATIONS.
- INSTALL HERBACEOUS MATERIAL WITH TOPS OF ROOTBALLS BELOW MULCH, FULLY WITHIN SOIL.
- FOR B&B TREES, REMOVE TOP 2/3 OF BALL WRAP. CUT WIRE BASKET IN AT LEAST FOUR LOCATIONS CIRCLING ROOTBALL; REMOVE TOP HALF OF BASKET.
- DO NOT PLACE MULCH AGAINST TRUNK OF TREES OR SHRUBS.
- ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE CLEANED UP, REMOVED FROM THE PROJECT SITE, AND DISPOSED OF PROPERLY.
- STAKES, WIRES, AND HOSES ON TREES SHALL BE REMOVED AFTER ONE YEAR OF ESTABLISHMENT.

PLANT MAINTENANCE NOTES.

IRRIGATION

ALL PLANTS NEED SUPPLEMENTAL WATER DURING THE FIRST AND SECOND GROWING SEASONS TO ESTABLISH THEIR ROOT SYSTEMS; HOWEVER, A PERMANENT IRRIGATION SYSTEM IS NOT REQUIRED. A GENERAL GUIDELINE FOR ESTABLISHMENT IS TO PROVIDE IRRIGATION AT A RATE OF ONE INCH OF WATER PER WEEK, INCLUDING THAT THROUGH RAINFALL. RECOMMENDED TECHNIQUES TO REDUCE WATER REQUIREMENTS AND APPROVED METHODS FOR THE PROVISION OF WATER SUPPLY TO PLANTS INCLUDE THE FOLLOWING:

- THE USE AND MAINTENANCE OF DRIP IRRIGATION BAGS OR RINGS AROUND THE TRUNKS OF NEWLY-PLANTED TREES.
- HAND WATERING, WITH WATER SOURCES PROVIDED THROUGH EITHER OR BOTH OF THE FOLLOWING METHODS:
  - EXTERIOR FAUCETS ON A BUILDING, LOCATED SO THAT THE FARTHEST PLANTING CAN BE REACHED BY A LENGTH OF HOSE (100 FEET RECOMMENDED).
  - A QUICK-COUPLING SYSTEM, WITH CONNECTIONS LOCATED SO THAT THE FARTHEST PLANTING CAN BE REACHED BY A LENGTH OF HOSE (100 FEET RECOMMENDED).
  - A WATER TANK OR TRUCK.
- THE USE OF RAINWATER HARVESTING TECHNIQUES COMBINED WITH THE USE OF HARVESTED RAINWATER FOR LANDSCAPE IRRIGATION IS ENCOURAGED.

PLANT MAINTENANCE

REQUIRED LANDSCAPING MUST BE KEPT ALIVE AND HEALTHY TO CONTINUE TO MEET THE REQUIREMENTS OF THE BALTIMORE CITY LANDSCAPE MANUAL AND THE ZONING CODE. PROPER MAINTENANCE AND IRRIGATION MUST BE PROVIDED FOR ALL INSTALLED LANDSCAPING.

THE MAINTENANCE OF PLANTS INSTALLED IS REQUIRED FOR SUCCESSFUL LANDSCAPING. PLANTS CANNOT BE INSTALLED AND LEFT ALONE, ESPECIALLY IN URBAN ENVIRONMENTS WHERE THEY MAY BE SUBJECT TO HIGH TEMPERATURES, HARSH ENVIRONMENTS, AND PHYSICAL ABUSE. GIVEN THE STRESSES AND RIGORS TO WHICH PLANTS ARE SUBJECTED, PLANTS MAY REQUIRE REPLACEMENT. A TWO-YEAR REPLACEMENT WARRANTY IS RECOMMENDED FOR ALL CONTRACTOR-INSTALLED PLANTS AND A MAINTENANCE CONTRACT IS ENCOURAGED TO PROMOTE THE ESTABLISHMENT OF PLANTS AND ENCOURAGE PROPER LANDSCAPE MAINTENANCE. BEYOND THE WARRANTY PERIOD, THE CONTINUED MAINTENANCE OF THE LANDSCAPE IS THE RESPONSIBILITY OF THE PROPERTY OWNER FOR THE LIFE OF THE PROJECT.

RECOMMENDATIONS FOR LANDSCAPE MAINTENANCE ARE AS FOLLOWS:

- MAINTENANCE OF LANDSCAPED AREAS INCLUDES, BUT IS NOT LIMITED TO WEEDING, MULCHING, MOWING, TRIMMING, PRUNING, EDGING, CULTIVATION, SEEDING, FERTILIZATION, WATERING, PEST CONTROL, AND ANY OTHER MAINTENANCE NECESSARY TO ENSURE HEALTHY, VIGOROUS PLANT GROWTH AND WELL-KEPT PROPERTY CONDITION.
- LANDSCAPING ELEMENTS SUCH AS WALLS AND FENCES SHALL BE CONSTRUCTED IN A SOUND WORKMANLIKE MANNER WITH ADEQUATE SUPPORT OR FOOTINGS AND MUST BE REPAIRED OR REPLACED AS NEEDED TO PRESERVE AN ATTRACTIVE APPEARANCE AND TO FUNCTION AS INTENDED.
- ANY DEAD PLANTS OR PLANTS WHICH FAIL TO SHOW HEALTHY GROWTH SHALL BE REMOVED AND REPLACED WITHIN 60 DAYS OF IDENTIFICATION OF DETERIORATED HEALTH. REPLACEMENT MAY BE DELAYED UNTIL THE NEXT GROWING SEASON ONLY IF THE 60 DAY PERIOD OCCURS DURING A TIME OF YEAR NOT SUITABLE FOR PLANTING.
- ALL REPLACEMENT PLANTS SHALL MEET THE SIZE AND OTHER CHARACTERISTICS OF NEWLY PLANTED MATERIAL AS OUTLINED IN THESE DOCUMENTS.
- TREES AND LARGE SHRUBS MUST BE ADEQUATELY SUPPORTED, WHEN NECESSARY TO INSURE PROPER GROWTH. IF CONTRACTOR INSTALLED, TREE STAKING MUST BE REMOVED PRIOR TO FINAL INSPECTION, WITH THE EXCEPTION OF PLANTS REPLACED DURING THE WARRANTY PERIOD AND NOT YET ESTABLISHED.
- IT IS DESIRABLE TO AVOID EXCESSIVE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES TO MINIMIZE IMPACTS ON WATER QUALITY. IT IS RECOMMENDED THAT FERTILIZER APPLICATION BE NEED-BASED RATHER THAN AS AN AUTOMATIC COMPONENT OF MAINTENANCE SCHEDULES AND WHEN APPROPRIATE, SLOW-RELEASE OR NATURAL FERTILIZERS BE SELECTED OVER HIGHLY-SOLUBLE CHEMICAL FERTILIZERS.
- APPLICATION OF HERBICIDES AND PESTICIDES SHALL BE PERFORMED BY A CERTIFIED PROFESSIONAL ONLY.
- THE IMPLEMENTATION OF AN INTEGRATED PEST MANAGEMENT (IPM) PROGRAM IS RECOMMENDED TO PREVENT AND TREAT PEST PROBLEMS.

LANDSCAPE ARCHITECT:

ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
(443) 956-9278



ENGINEER:

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD  
SUITE #214  
BALTIMORE, MD 21211  
(410) 601-3290



DEVELOPER/APPLICANT:

SOUTH BALTIMORE GATEWAY  
PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
(410) 424-7593

PROPERTY OWNER:

MAYOR AND CITY COUNCIL  
100 N HOLIDAY STREET  
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: CO      CHECKED: HT, CO

DESIGNED: CO, PB

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 4064  
EXP. DATE: 11-05-2026



PROJECT INFORMATION:

610 W CONWAY STREET  
BALTIMORE, MD 21230  
WARD 22, SECTION 060  
BLOCK 0861, LOT 005  
  
COUNCIL DISTRICT #11

ePLAN NO.:      N/A

DATE:      05/01/2025

PROJECT NO.:      2302

SHEET TITLE:

PLANTING  
NOTES

DWG. NO.:

L402



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- GENERAL NOTES:
- DESCRIPTION OF WORK:
    - RESET AND REPAIR EX. BRICK SIDEWALK
    - PROVIDE AND INSTALL STONE DUST PAVING, PLANTING MEDIA, MULCH, AND PLANTINGS
    - INSTALL AT-GRADE ADA CROSSWALK
  - RELATED WORK:
    - SELECTIVE TREE FELLING PER 31 13 13.03
    - REMOVAL OF EXISTING PAVEMENT, SIDEWALK, CURB, OR COMBINATION CURB AND GUTTER PER SECTION 02 41.13.16
    - SUBGRADE PREPARATION PER SECTION 31.23.13
    - BRICK MASONRY PER SECTION 04 21 13
    - ASPHALT PAVEMENT PER SECTION 32 12 16.13
    - INSTALL FURNISHINGS AND LIGHTING PER PLANS
  - UNLESS OTHERWISE NOTED, ALL SITE WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE PLANS AND THE 2006 CITY OF BALTIMORE "DPW SPECIFICATIONS FOR MATERIALS, HIGHWAYS, BRIDGES, UTILITIES AND INCIDENTAL STRUCTURES."
  - SOIL EROSION AND SEDIMENT CONTROL PROCEDURES, AS DEFINED IN THE BALTIMORE CITY STORMWATER MANAGEMENT MANUAL (MAY 2010) AND THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" SHALL BE STRICTLY ADHERED TO. CONTRACTOR SHALL EXERCISE CAUTION TO AVOID DAMAGE TO ALL INLETS.
  - THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO BIDDING AND START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
  - FOR THIS WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR MUST OBTAIN A TEMPORARY USE OF THE RIGHT-OF-WAY (R.O.W.) PERMIT FROM THE DEPARTMENT OF GENERAL SERVICES PERMITS DIVISION, ABEL WOLMAN MUNICIPAL BUILDING, 1ST FLOOR, 200 NORTH HOLLIDAY STREET, BALTIMORE, MARYLAND, 21202, PHONE (410)396-6865 OR (410)396-4508. THE ENGINEER HAS SUBMITTED THESE DRAWINGS FOR PRELIMINARY R.O.W. REVIEW. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE FINAL R.O.W PERMIT.
  - THE CONTRACTOR SHALL PROVIDE AND ENACT A TRAFFIC CONTROL PLAN TO ACCOMPANY THE FINAL R.O.W. PERMIT..
  - SAFE PEDESTRIAN AND VEHICLE ACCESS TO HOMES AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.
  - STREET SIGNS ARE TO REMAIN OR BE RESTORED TO ORIGINAL CONDITION OR BETTER. STREET SIGNS SHALL BE REPLACED IMMEDIATELY AFTER AREA IS BACKFILLED AND NO LATER THAN CLOSE OF EACH WORKDAY, EVEN IF REPLACEMENT IS ONLY TEMPORARY.
  - CONTRACTOR SHALL PERMANENTLY STABILIZE ANY AREAS DISTURBED BY CONSTRUCTION, STORAGE, OR VEHICULAR MOVEMENT. THIS INCLUDES ANY INCIDENTAL ACTIVITIES NOT SHOWN ON THE DRAWINGS BUT ASSOCIATED WITH WORK. SOIL SHALL BE PREPARED AND SEEDDED IN ACCORDANCE WITH THE PLAN SPECIFICATIONS.

# CITY OF BALTIMORE

## DEPARTMENT OF TRANSPORTATION



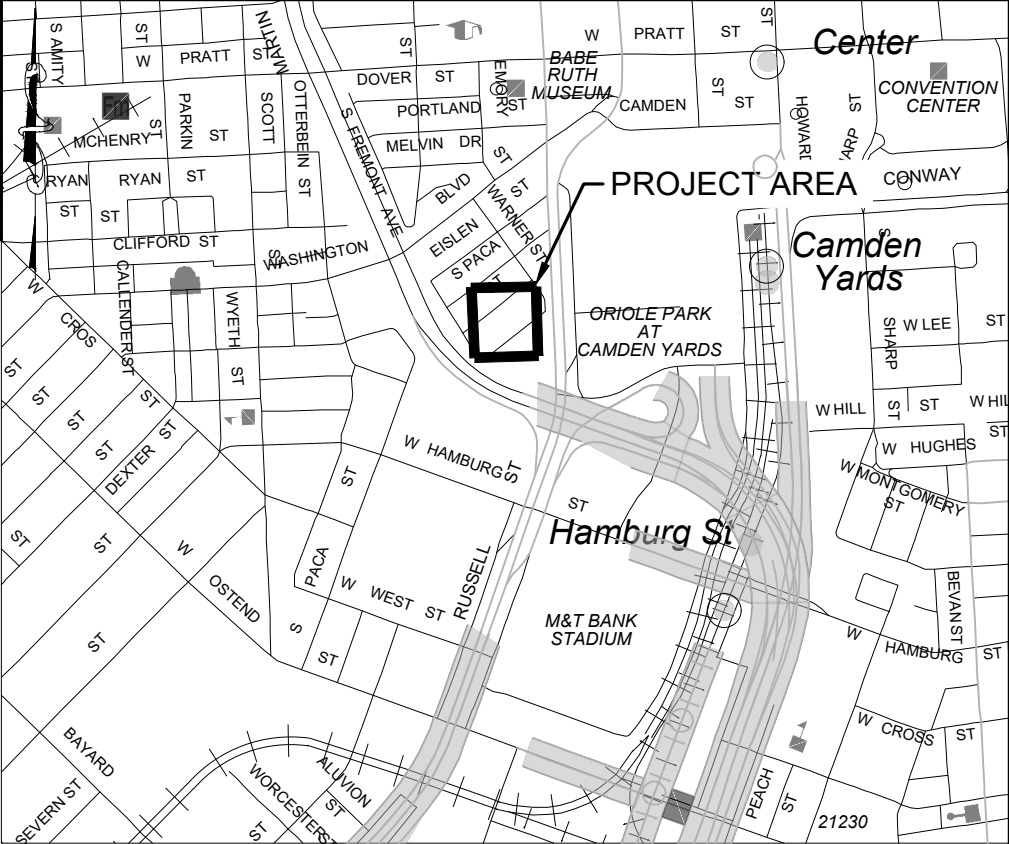
# CONWAY STREET PARK

## RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS

610 W CONWAY STREET  
BALTIMORE, MD 21230

05/01/2025

AS-BUILT REVISIONS	NO.	DESCRIPTION	DATE	BY
BY: _____				
DATE: _____				



VICINITY MAP  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

EARTHWORK SUMMARY	
TOTAL DISTURBED AREA	4,915 SF
TOTAL CUT (salvaged and backfilled)	15 CY
TOTAL CUT (hauled)	30 CY
TOTAL FILL (imported)	44.32 CY
<b>TOTAL EARTHWORK (imported + hauled)</b>	<b>74.32 CY</b>

- NOTES:
- DATA IS APPROXIMATE AND IS PROVIDED FOR BALTIMORE CITY REVIEW ONLY. CONTRACTOR TO VERIFY DATA AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - A PORTION OF THE EXCAVATED CUT EARTHWORK MATERIAL SHALL BE USED AS BACKFILL.

Sheet List Table	
Sheet Number	Sheet Title
C-000R	COVER SHEET
C-001R	GENERAL NOTES
C-100R	EXISTING CONDITIONS
C-101R	DEMOLITION PLAN
C-102R	TREE PROTECTION DETAILS
C-103R	TREE PROTECTION NOTES
C-200R	PROPOSED GRADING & UTILITY PLAN
C-201R	STANDARD PAVEMENT & UTILITY DETAILS
L101R	KEY PLAN - ROW
L102R	MATERIALS PLAN - ROW
L103R	LAYOUT PLAN - PAVING - ROW
L201R	HARDSCAPE DETAILS - ROW
L202R	HARDSCAPE DETAILS - ROW
L203R	HARDSCAPE ROW - NOTES
L301R	PLANTING PLAN - ROW
L302R	MITIGATION PLANTING PLAN - ROW
L401R	PLANTING DETAILS - ROW
L402R	PLANTING NOTES - ROW

		PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.											
ENGINEER: KELLY LINDOW DATE: 03/31/2025 LICENSE NO: 140805 EXP. DATE: 06/21/2025		DESIGNED: <u>KL</u> DRAWN: <u>CJ</u> CHECKED: <u>KL</u>											
		WARD: 22 SECTION: 060 SECT. APP. BLOCK: 0861 LOT: 005											
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

Paper Size: ARCH full bleed D (36.00 x 24.00 Inches)

LANDSCAPE ARCHITECT ENVIROCOLLAB, LLC 111 E 25TH STREET, SUITE 1A BALTIMORE, MD 21218 PHONE: 443-956-9278 	ELECTRICAL ENGINEER THOMAS FOULKES LLC REGISTERED ELECTRICAL ENGINEERING 1400 MASON STREET BALTIMORE MD 21217 410.262.1806	APPLICANT/DEVELOPER SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 PHONE: (410) 424-7593	CIVIL ENGINEER CITYSCAPE ENGINEERING, LLC 3600 CLIPPER MILL RD, SUITE 214 BALTIMORE, MD 21211 PHONE: (410) 601-3290 	OWNER MAYOR AND CITY COUNCIL 100 N HOLLIDAY STREET BALTIMORE, MD 21230
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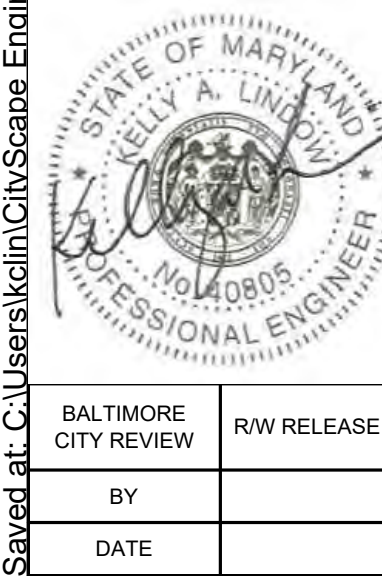
CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE
<b>C-000R</b> COVER SHEET PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230	
SCALE: AS SHOWN	DATE: 05/01/2025
DWG NAME: COVER SHEET	SHEET: 01 OF 18





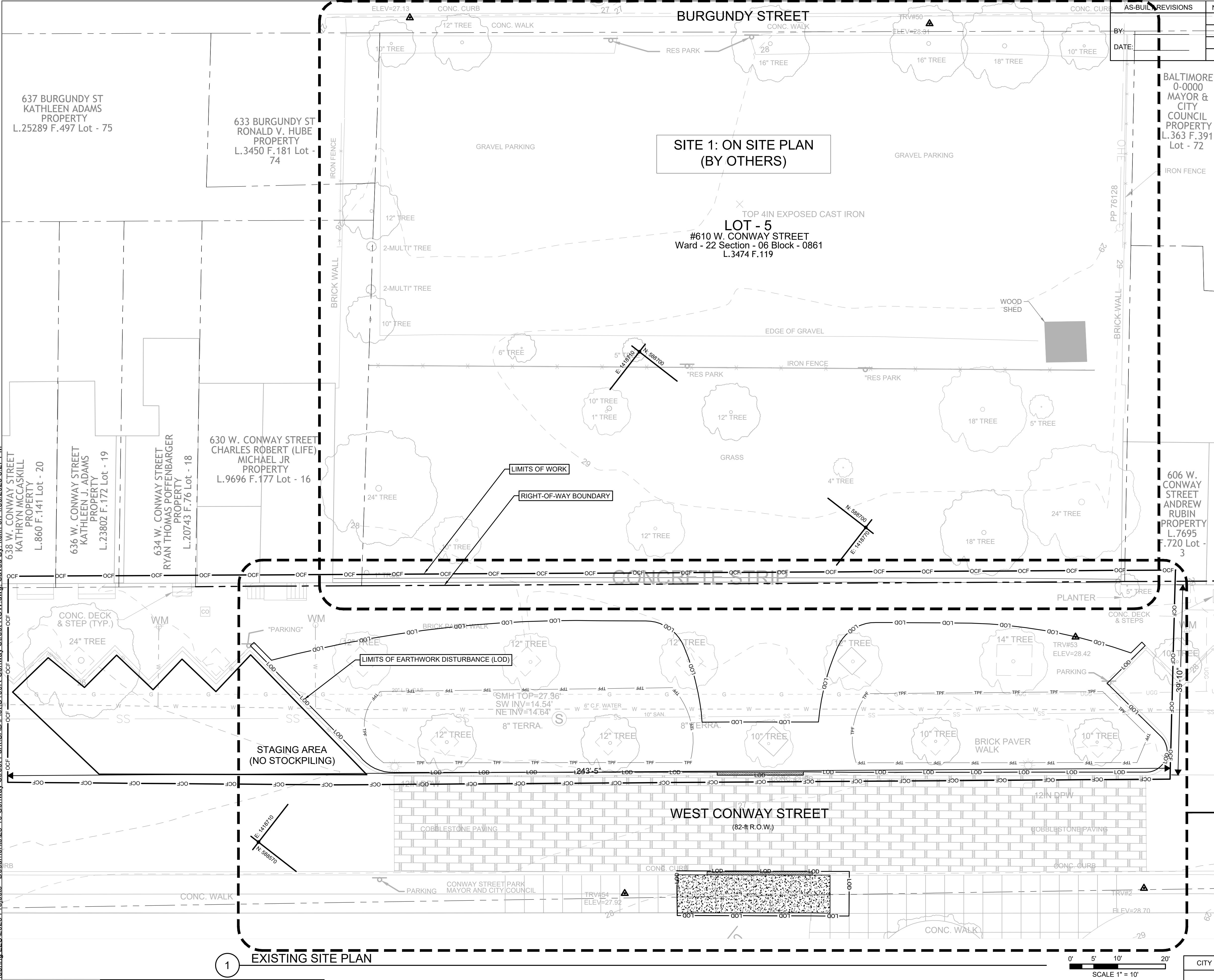


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PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.													
ENGINEER: KELLY LINDOW DATE: 03/31/2025 LICENSE NO.: 40805 EXP. DATE: 06/21/2025							DESIGNED: __KL DRAWN: __CJ CHECKED: __KL						
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

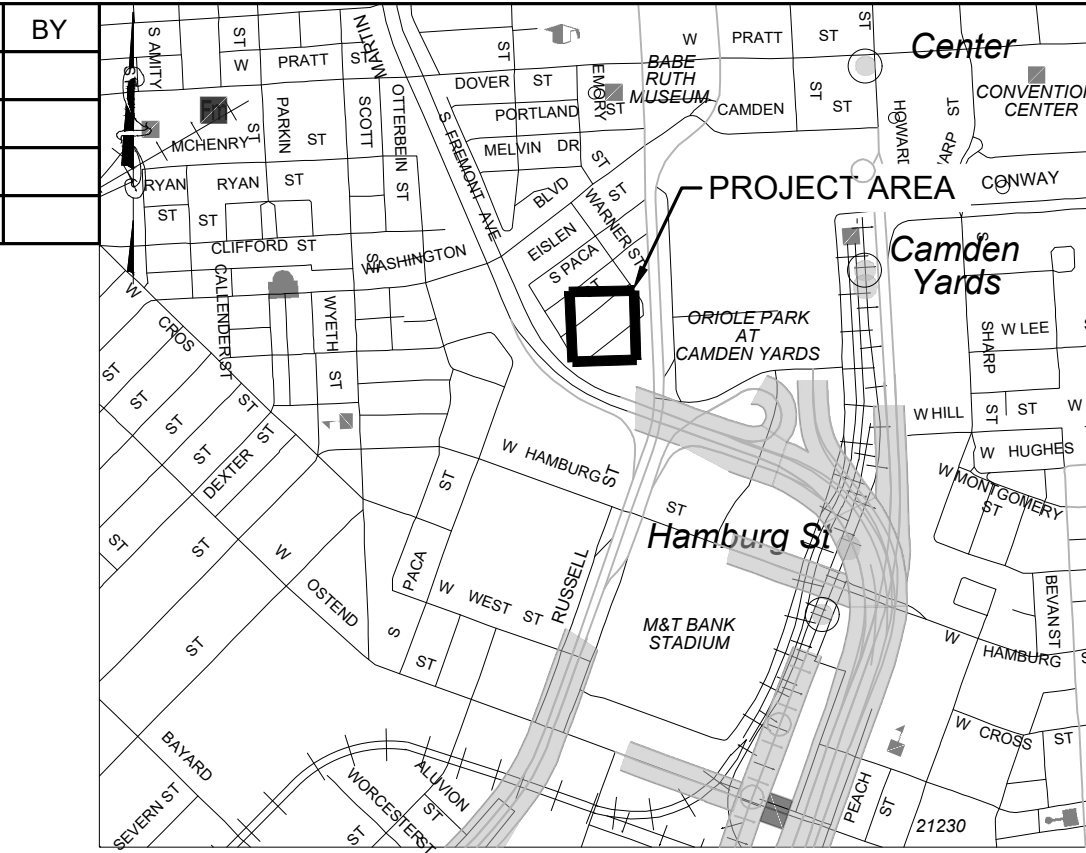
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SITE 2: DOT R.O.W PARCEL

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

CITY OF BALTIMORE DEVELOPER'S AGREEMENT #TBD	
CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS	
C-100R	
EXISTING CONDITIONS PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230	
SCALE: AS SHOWN	DATE: 05/01/2025
DWG NAME: EXISTING CONDITIONS	SHEET: 02 OF 18



VICINITY MAP  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

LEGEND	
EXISTING FEATURES	
	BUILDING
	PROPERTY LINE
	TRAVERSE POINT
	MAJOR (5-FT) CONTOUR
	MINOR (1-FT) CONTOUR
	SANITARY MANHOLE
	STORM DRAIN MANHOLE
	LIGHT POLE
	WATER METER
	SIGN
	ROOF DRAIN TO CURB (3")
	FIRE HYDRANT
	WATER VALVE
	HAND HOLE
	IRON FENCE
	UNDERGROUND GAS (GLC)
	WATER LINE (QLC)
	SANITARY MAIN (QLC)
	TREE
	WATER LINE (QLD)
	SANITARY MAIN (QLD)
	UNDERGROUND ELECTRIC (QLD)
	UNDERGROUND GAS (QLD)
	COBBLESTONE
	TREE PROTECTION FENCE
	CONSTRUCTION FENCE
	LIMIT OF DISTURBANCE

GENERAL SURVEY NOTES:

1. THE LOCATION OF IMPROVEMENTS SHOWN HEREON ARE DERIVED FROM MARYLAND COORDINATE SYSTEM (NAD83/NA2011 EPOCH 2010) & NAVD88 FOR VERTICAL.

PointNo.	Northing(Y)	Easting(X)	Elev(Z)	Description
1	588476.03	1418607.85	26.58	MAG NAIL
2	588676.07	1418862.34	28.70	MAG NAIL
3	588424.57	1418839.08	31.99	MAG NAIL

SITE DATA:

OWNERSHIP: MAYOR AND CITY COUNCIL  
DEED: L.3437 F.119  
ADDRESS: 610 W. CONWAY STREET, BALTIMORE, MD 21201  
LOT 5 - WARD 22 - SECTION 6 - BLOCK 861

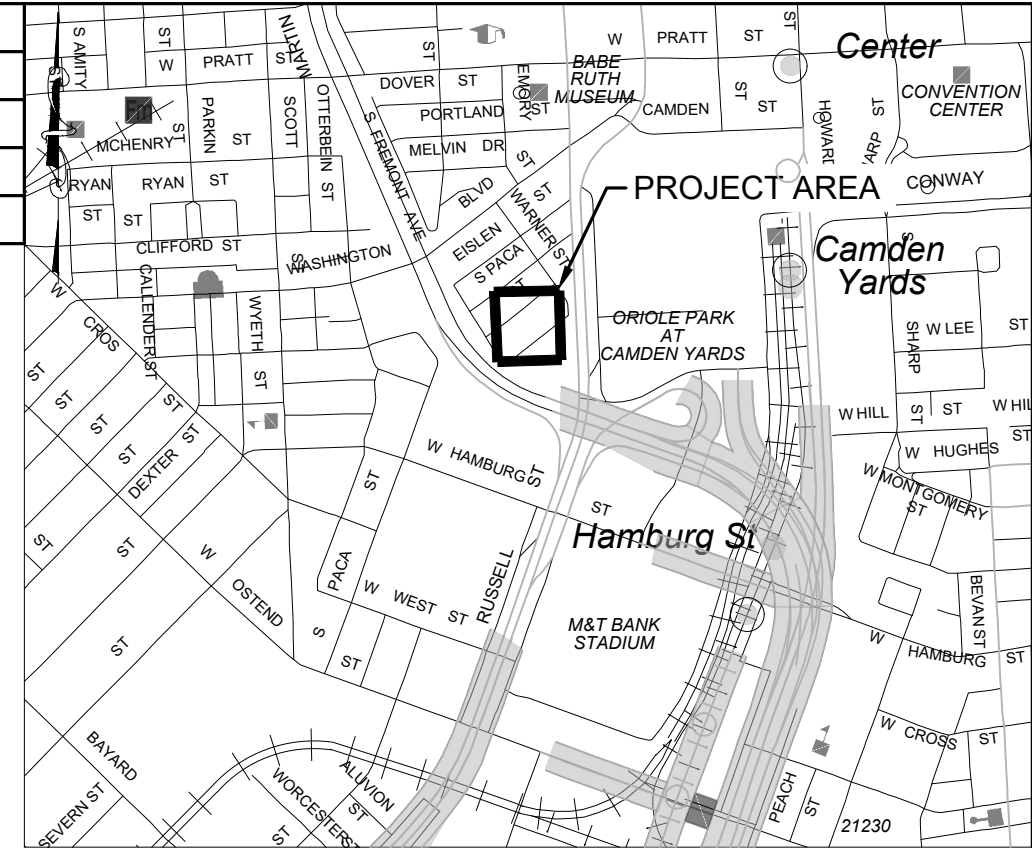
3. A BOUNDARY SURVEY WAS NOT PERFORMED. PROPERTY LINES AND BUILDING LOCATION SHOWN HEREON ARE BASED ON GIS DATA AVAILABLE FROM BALTIMORE CITY.  
4. UTILITY INFORMATION SHOWN HEREON IS BASED ON ABOVE-GROUND LOCATIONS AND PAINT MARKINGS.  
5. ADDITIONAL INFORMATION SHOWN HEREON IS BASED ON INFORMATION PREPARED BY ENVIROCOLLAB, LLC & CITYSCAPE ENGINEERING, LLC.

UTILITY NOTES:

1. SUBSURFACE UTILITY LOCATIONS SHOWN ON THIS PLAN WERE ESTIMATED BASED ON OBSERVED SURFACE MARKERS. RESULTS OF THE MISS UTILITY DESIGN TICKET, AND UTILITY PLANS PROVIDED BY UTILITY COMPANIES, THE CORRECTNESS AND COMPLETENESS OF THE UTILITY INFORMATION IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.  
2. THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST THREE WORKING DAYS PRIOR TO STARTING WORK SO THEY CAN ARRANGE TO MARK THE HORIZONTAL LOCATION OF THEIR UNDERGROUND UTILITIES. ANY PERMITS OR COST ASSOCIATED WITH MISS UTILITY ARE THE RESPONSIBILITY OF THE CONTRACTOR.  
3. ALL WORK SHALL BE SUBJECT TO INSPECTION BY UTILITY DEPARTMENT OFFICIALS.  
4. CONTRACTOR SHALL CONDUCT TEST PITS TO VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY, IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLAN, IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.  
5. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AND MAINTAIN UNINTERRUPTED UTILITY SERVICE. ANY DAMAGE TO EXISTING STRUCTURES SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE CITY UTILITY INSPECTOR. AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEVELOPER AND THE UTILITY OWNER OF ANY DAMAGE TO THE UTILITY.



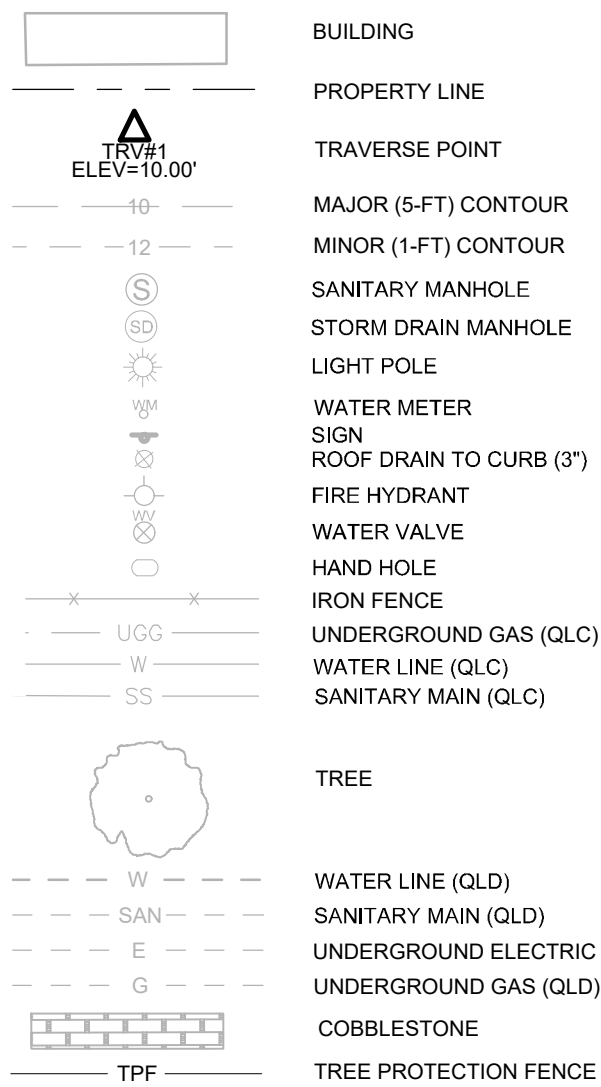
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BY: _____				
DATE: _____				



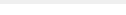





VICINITY MAP  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

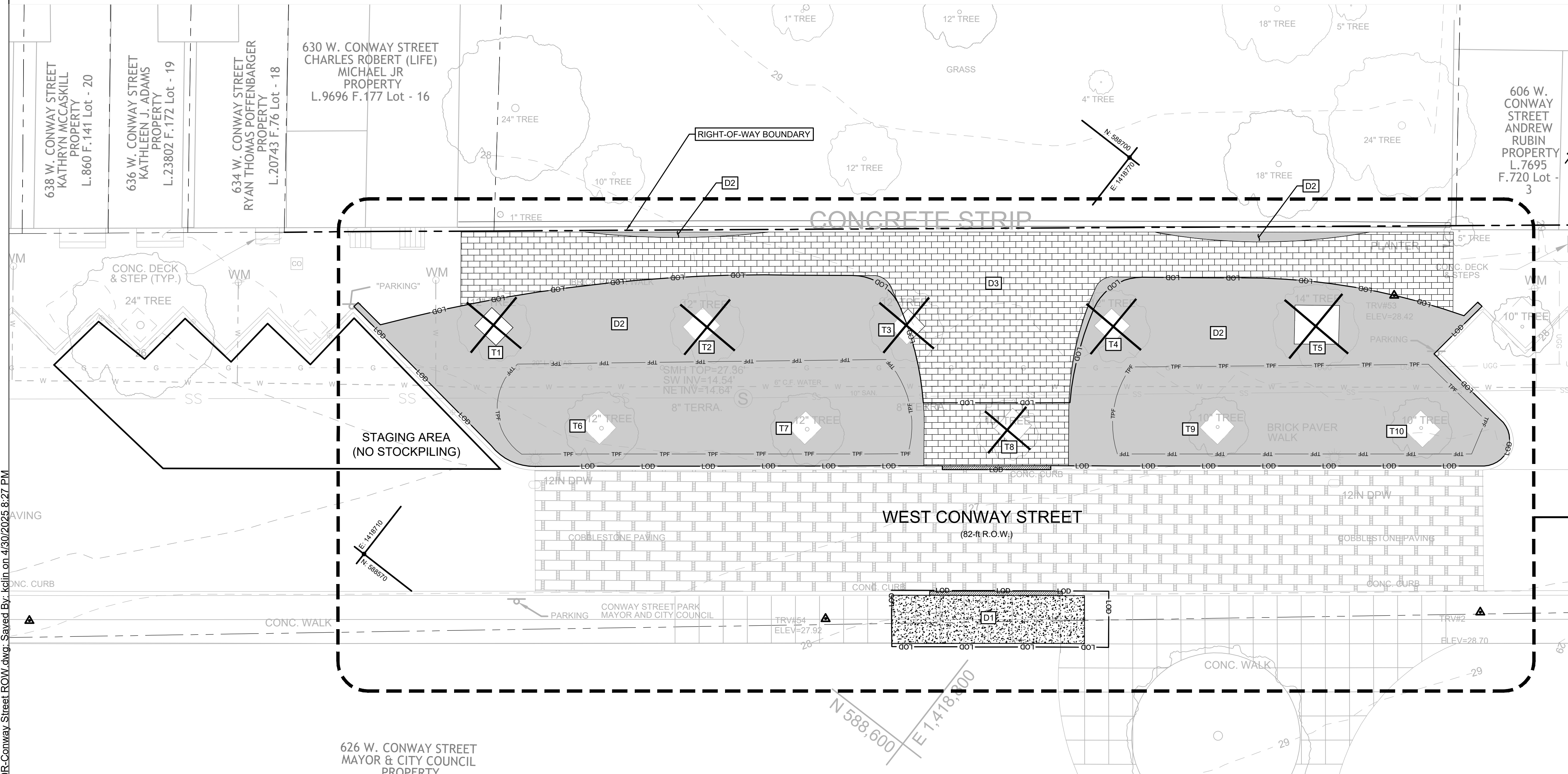
**LEGEND**

### EXISTING FEATURES



## DEMO FEATURES:

	BRICK TO BE REMOVED
	BRICK TO BE RESET
	TREE TO BE REMOVED
	CONCRETE TO BE REMOVED
	CONCRETE CURB REMOVAL
	LIMIT OF DISTURBANCE



SITE 2: DOT R.O.W  
PARCEL

## DEMOLITION PLAN

### SITE PREPARATION NOTES

1. AREAS DESIGNATED FOR WORK SHALL BE CLEARED AND GRUBBED, AS NEEDED.
2. ALL TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AS DIRECTED BY THE OWNER. ALL DISPOSAL SHOULD BE DONE AT A SITE WITH APPROVED APPLICABLE PERMITS.
3. NO ITEMS ARE TO BE BURNED OR BURIED ON THE SITE.

DEMOLITION NOTES:

1. DEMOLITION ITEMS ARE TO INCLUDE ALL WORK REQUIRED TO REMOVE ITEM FROM SITE COMPLETELY. EXISTING IMPERVIOUS COVER TO BE REMOVED AND ALL UNDERLYING GRAVEL AND STONE ARE TO BE REMOVED AND HAULED FROM THE SITE.
2. NO ITEMS ARE TO BE BURNED OR BURIED ON THE SITE.
3. FOR ALL PAVEMENT REMOVAL AREAS, NEATLY SAWCUT ALL EDGES.
4. NO HEAVY MACHINERY SHALL BE ALLOWED WITHIN THE TREE CIRCITAL ROOT ZONE (CRZ). FOR GRADING NEEDS WITHIN THE CRZ, ONLY A LIGHT BOBCAT SHALL BE USED AND DISTURBANCE SHOULD BE MINIMIZED.
5. WITHIN THE CRZ, PAVEMENT TO BE REMOVED MUST BE BROKEN UP BY A JACK HAMMER AND REMOVED BY HAND. AN AIR SPADE MAY BE USED TO LOOSEN MATERIAL.
6. REFER TO TREE PROTECTION DETAILS SHEET SC-102R & C-103R.
7. SUBBASE BELOW PAVEMENT REMOVAL AREAS MAY BE TEMPORARILY STOCKPILED ON SITE AND REUSED FOR CONSTRUCTION OF NEW WALKWAYS. MATERIAL MUST BE TESTED TO MEET PROPOSED SUBBASE SPECIFICATIONS.
8. CONTRACTOR TO DOCUMENT CONDITION OF ALL ADJACENT PROPERTIES, BUILDINGS, STRUCTURES, RIGHT-OF-WAYS, AND UTILITIES PRIOR TO DEMOLITION OR CONSTRUCTION.
9. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING AROUND BIGE ELECTRIC AND GAS INFRASTRUCTURE.

DEMOLITION KEYNOTES TABLE		
TAG	DESCRIPTION	QUANTITY
D1	CONCRETE TO BE REMOVED	255 SF
D2	BRICK TO BE REMOVED	4263 SF
D3	BRICK TO BE RESET - NO EARTHWORK DISTURBANCE	2100 SF
D4	CONCRETE CURB TO BE REMOVED	40 LF
SEE LEGEND	TREE TO BE REMOVED	6

### R.O.W. EXISTING TREE TABLE

ID	DBH	BOTANICAL NAME	COMMON NAME	CONDITION	PROPOSED IMPACTS	REMOVALS (in inches)
T1	12 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Removal	12
T2	12 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Removal	12
T3	12 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Removal	12
T4	12 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Removal	12
T5	14 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Removal	14
T6	12 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Preserved	10
T7	12 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Preserved	
T8	10 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Removal	
T9	10 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Preserved	
T10	10 in.	Prunus calleryana	Bradford Pear	Fair, Invasive Species	Preserved	

**EXISTING TREE MITIGATION REQUIRED (in inches)**

REFER TO LANDSCAPE SHEETS FOR TREE PLANTING AND MITIGATION PLAN



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

ENGINEER: KELLY LINDOW  
DATE: 03/31/2025 LICENSE NO: 40805  
EXP. DATE: 06/21/2025

DESIGNED: KL  
DRAWN: CJ  
CHECKED: KL

WARD: 22

SECTION: 060	SECT.	APP.
--------------	-------	------

BLOCK: 08

LOT: 005

WATER  
ENGINEERING

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LANDSCAPE ARCHITECT
ENVIROCOLLAB, LLC 111 E 25TH STREET, SUITE 1 BALTIMORE, MD 21218 PHONE: 443-956-9278



**THOMAS FOULKES LLC**  
MECHANICAL AND ELECTRICAL ENGINEERING  
1400 MASON STREET  
BALTIMORE MD 21217  
410.262.1806

APPLICANT/DEVELOPER  
SOUTH BALTIMORE  
GATEWAY PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
PHONE: (410) 424-7593

CIVIL ENGINEER  
CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD,  
SUITE 214  
BALTIMORE, MD 21211  
PHONE: (410) 601-3290



OWNER

MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
	DEVELOPER'S AGREEMENT #TBD
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS
DIRECTOR, DEPARTMENT OF TRANSPORTATION	<div>C-101R</div> <div>DEMOLITION PLAN</div> <div>PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230</div>
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	
APPROVED	SCALE: AS SHOWN
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DWG NAME: DEMOLITION PLAN
	DATE: 05/01/2025
	SHEET: 03 OF 18

SCALE: AS SHOWN

DATE: 05/01/2025

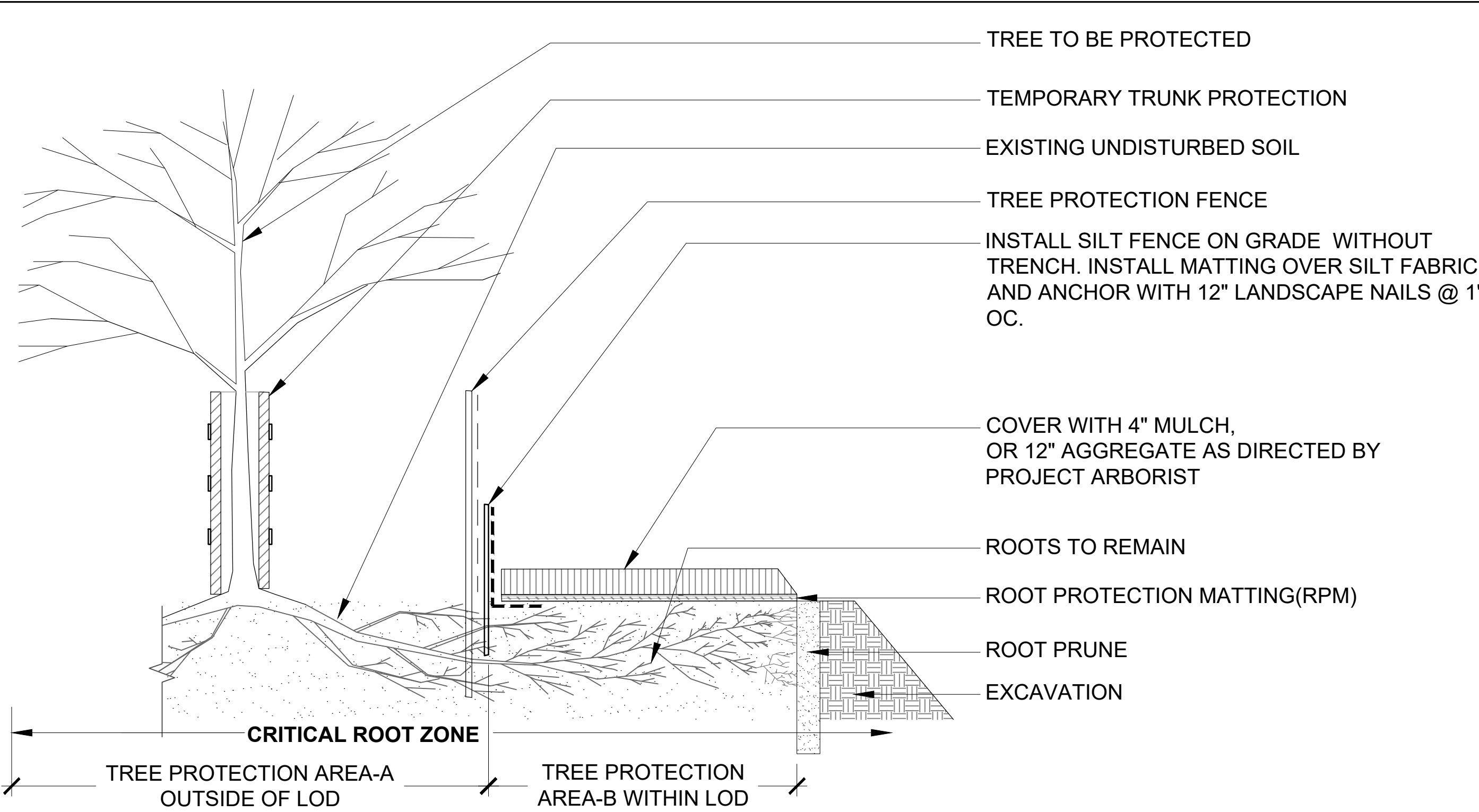
DWG NAME: DEMOLITION PLAN

SHEET: 03 OF 1

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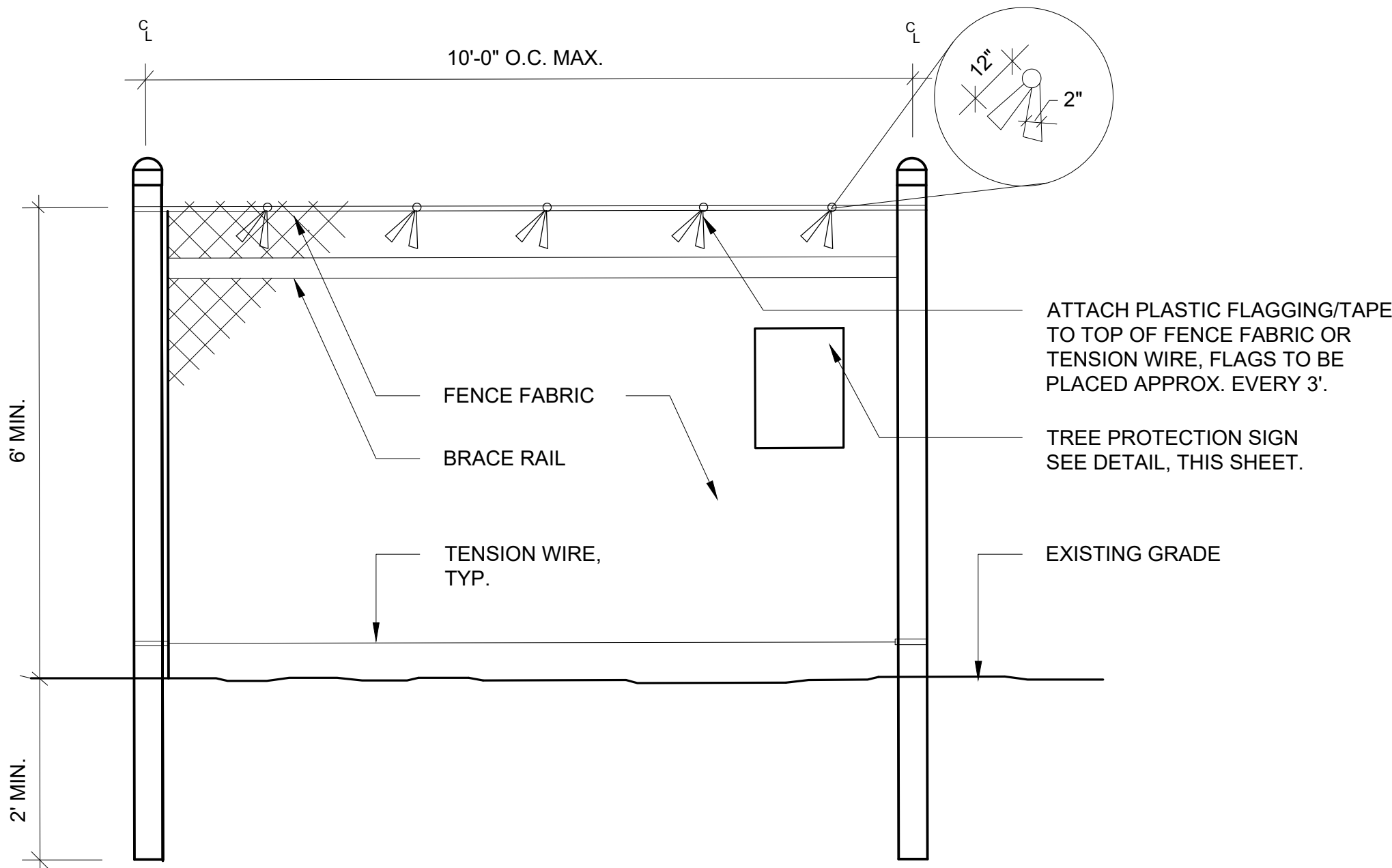
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- NOTES:
- USE FOR TEMPORARY CONSTRUCTION ACCESS, STAGING AREAS, FOR CONCRET/MASONRY SET-UP AND OPERATIONS WITHIN CRITICAL ROOT ZONES.
  - MATTING MATERIAL SHALL BE DOUBLE SIDED GEOCOMPOSITE, GEONET CORE WITH NON-WOVEN COVERING (SUCH AS TENAX TENDRAIN 750/2) OR APPROVED EQUIVALENT.
  - RPM SHALL BE INSTALLED BY A CERTIFIED ARBORIST.
  - RPM SHALL BE ANCHORED BY MINIMUM 12" LANDSCAPE NAILS @ 1' SPACING.
  - RPM SHALL BE REMOVED PROMPTLY AFTER CONSTRUCTION IS COMPLETE.

1 ROOT AERATION MATTING

NTS



3 TREE PROTECTION FENCING

NTS

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

ENGINEER: KELLY LINDOW  
DATE: 03/31/2025 LICENSE NO: 40805  
EXP. DATE: 06/21/2025

DESIGNED: KL  
DRAWN: CJ  
CHECKED: KL

WARD: 22  
SECTION: 060 SECT. APP.  
BLOCK: 0861  
LOT: 005

BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

4 TREE PRUNING DETAIL



LANDSCAPE ARCHITECT  
ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
PHONE: 443-956-9278

ELECTRICAL ENGINEER  
THOMAS FOULKES LLC  
MECHANICAL/ELECTRICAL/PLUMBING  
1400 MASON STREET  
BALTIMORE, MD 21217  
410.262.1806

APPLICANT/DEVELOPER  
SOUTH BALTIMORE GATEWAY PARTNERSHIP  
101 W. DICKMAN STREET  
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OWNER  
MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

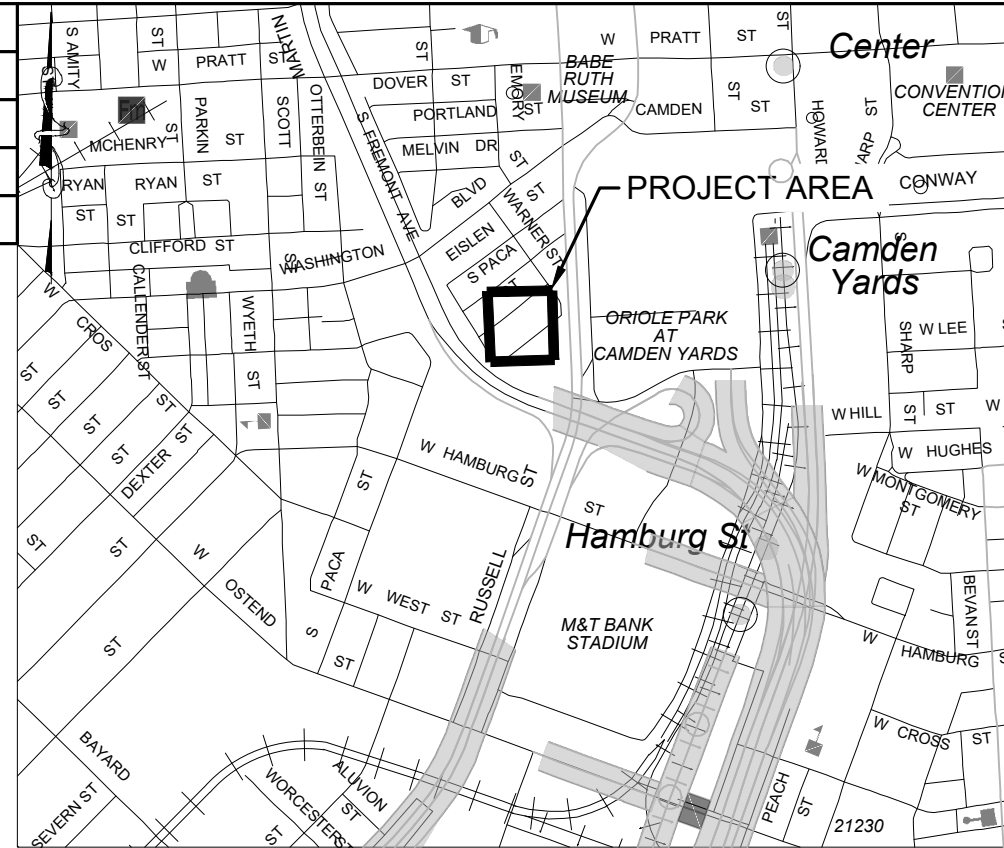
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CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	DEVELOPER'S AGREEMENT #TBD
DIRECTOR, DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS
DATE	APPROVAL RECOMMENDED
DATE	CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION
DATE	APPROVED
DATE	DIRECTOR, DEPARTMENT OF PUBLIC WORKS

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	DEVELOPER'S AGREEMENT #TBD
DIRECTOR, DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS
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DATE	APPROVED
DATE	DIRECTOR, DEPARTMENT OF PUBLIC WORKS

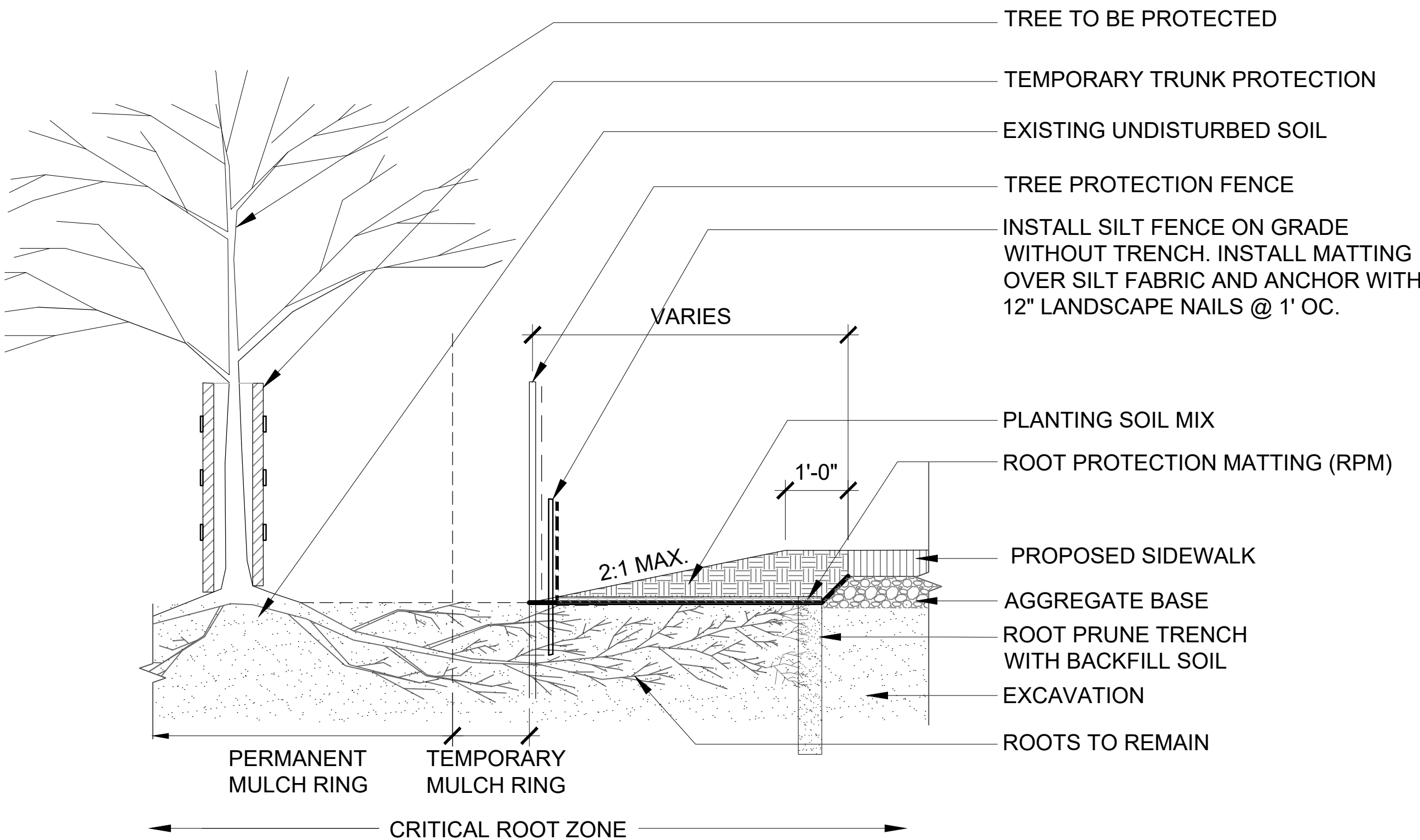
C-102R  
TREE PROTECTION DETAILS  
PROPERTY ADDRESS:  
610 W CONWAY STREET  
BALTIMORE, MD 21230

SCALE: AS SHOWN  
DWG NAME: TREE PROTECTION DETAILS  
DATE: 05/01/2025  
SHEET: 04 OF 18

AS-BUILT REVISIONS	NO.	DESCRIPTION	DATE	BY
BY: _____				
DATE: _____				



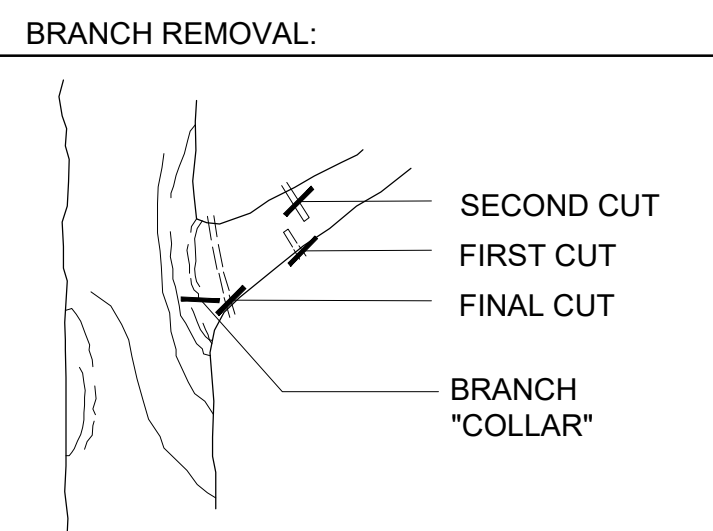
VICINITY MAP  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'



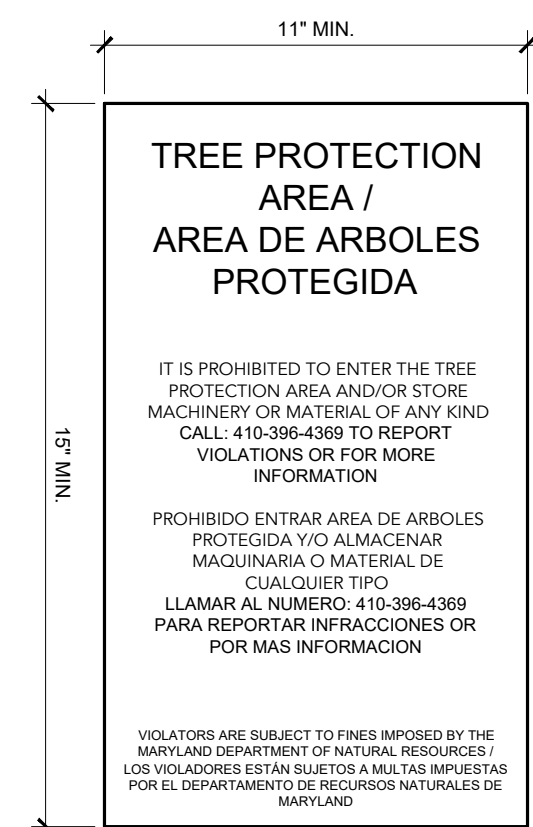
- NOTES:
- USE FOR FILL CONDITIONS WITHIN CRITICAL ROOT ZONES OF SPECIMEN TREES TO REMAIN. TO REMAIN PLACE AS PERMANENT ROOT PROTECTION.
  - MATTING MATERIAL SHALL BE DOUBLE SIDED GEOCOMPOSITE, GEONET CORE WITH NON-WOVEN COVERING (SUCH AS TENAX TENDRAIN 750/2) OR APPROVED EQUIVALENT.
  - ROOT AERATION MAT SHALL BE INSTALLED BY A CERTIFIED ARBORIST.
  - ROOT AERATION MAT SHALL BE ANCHORED BY MINIMUM 12" LANDSCAPE NAILS @ 1' SPACING.

2 TEMPORARY ROOT PROTECTION

NTS



- NOTES:
- PRESERVE NATURAL FORM OF TREE IN PRUNING ACTIVITIES.
  - PRUNE ONLY WHEN NECESSARY TO ELIMINATE DAMAGE, IMPROVE TREE HEALTH, OR MAINTAIN DESIRED FORM.
  - RESTRICT ROOT PRUNING TO BADLY DAMAGED ROOTS.
- PRUNING OF MATURE TREES.
- REMOVE LARGE BRANCHES IN BALANCED SECTIONS AS DETAILED.
  - REMOVE ONLY MINIMUM NUMBER OF BRANCHES IN CROWN LIFTING OPERATION.
  - WHEN CROWN THINNING, REMOVE DEAD, WEAKENED OR BADLY PLACED LIMBS, UP TO ONE QUARTER OR ONE THIRD OF ONE SEASON'S GROWTH.
  - CUT BACK OUTER BRANCHES TO SUITABLE OUTWARD OR UPWARD POINTING BUD OR BRANCH.



5 TREE PROTECTION AREA SIGN

NTS

- GENERAL NOTES:
- APPLY 12"-18" DEPTH VERTICAL MULCHING IN RADIAL PATTERN EVERY 2'-3' ON CENTER AROUND TRUNK OF TREE IN AREAS OF EXISTING PAVEMENT REMOVAL TO RECEIVE PROPOSED PLANTING.
  - CONTRACTING ARBORIST TO SUBMIT ANY VARIATIONS OR ADDITION TO TREE CARE/TREE PROTECTION PROTOCOLS FOR REVIEW BY LANDSCAPE ARCHITECT/OWNER.
  - SEE SHEET C-103R FOR TREE PROTECTION NOTES.



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CONSTRUCTION TIMETABLE

CONSTRUCTION IS ANTICIPATED TO BEGIN IN 2025.

REFERENCE PHONE NUMBERS:  
BALTIMORE OFFICE OF SUSTAINABILITY (BOS): (410)-396-4369  
MARYLAND DEPARTMENT OF NATURAL RESOURCES FOREST SERVICE (MD DNR): (410) 260-8511

CONTRACTOR MUST CONTACT THE BOS OR MD DNR AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY GRADING OR CONSTRUCTION *AND* AT LEAST 48 HOURS PRIOR TO COMPLETION OF THE PROJECT.

PRE-CONSTRUCTION

SUBMITTALS

- PRIOR TO THE FIRST INSPECTION OF THE TREE RETENTION / PRESERVATION AREAS, CREDENTIALS MUST BE SUBMITTED TO THE CLIENT, ENGINEER, AND LANDSCAPE ARCHITECT, FORWARDED AND APPROVED BY THE BOS OR MD DNR, FOR THE SELECTION OF A CERTIFIED ARBORIST/MD TREE SPECIALIST TO PERFORM ALL WORK INCLUDING BUT NOT LIMITED TO WATERING, FERTILIZING, ROOT PRUNING, AND ANY OTHER METHODS NOT MENTIONED HEREIN THAT WILL KEEP THE TREE IN A LIVE, HEALTHY CONDITION WITHIN THE TREE PROTECTION AREAS THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD OF THIS CONTRACT.
- REPORT MUST BE SUBMITTED TO THE BOS OR MD DNR FROM THE ARBORIST WHICH SPECIFIES THEIR RECOMMENDED TREATMENTS AND SCHEDULE FOR CARRYING OUT TREE PROTECTION MEASURES.
- SUPPLEMENTAL REPORTS MUST BE SUBMITTED AS TREE PROTECTION MEASURES ARE COMPLETED WHICH INDICATE WHEN AND WHAT WORK WAS DONE, AND MUST BE SIGNED BY THE ARBORIST.

EXECUTION

- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CLEARING OR GRADING, A PRE-CONSTRUCTION MEETING SHALL BE HELD ON-SITE WITH THE REPRESENTATIVE FROM THE BALTIMORE OFFICE OF SUSTAINABILITY (BOS) OR MARYLAND DEPARTMENT OF NATURAL RESOURCES (MD DNR). THE SITE SHALL BE WALKED AND THE TREE PRESERVATION AREA/ LIMITS OF DISTURBANCE (L.O.D.) AND AREAS FOR TREE PROTECTION DEVICES SHALL BE STAKED AND FLAGGED.
- ALL EXISTING TREES WITHIN THE RIGHT-OF-WAY MUST BE PROTECTED FROM CONSTRUCTION ACTIVITIES, UNLESS THEIR REMOVAL HAS BEEN APPROVED BY THE CITY ARBORIST.
- ALL AREAS SHOWN ON THE PLANS LOCATED WITHIN THE L.O.D. ARE TO BE APPROVED FOR WORK WITHIN THIS CONTRACT. NO CLEARING OR GRADING WILL BE PERMITTED UNTIL TREE PROTECTIVE MEASURES ARE INSTALLED AND HAVE BEEN APPROVED BY A BOS OR MD DNR REPRESENTATIVE.
- EROSION AND SEDIMENT CONTROL MEASURES AND ALL PROTECTIVE DEVICES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OR DEMOLITION.
- AN APPROVED COPY OF THE DOCUMENTS INDICATING TREE PRESERVATION MEASURES SHALL BE KEPT ON-SITE THROUGHOUT CONSTRUCTION.
- NO CLEARING OR GRADING SHALL BEGIN BEFORE TREE STRESS REDUCTION MEASURES HAVE BEEN IMPLEMENTED AND ARE IN PLACE.
- A MARYLAND-LICENSED TREE EXPERT MUST PERFORM ALL STRESS REDUCTION MEASURES. DOCUMENTATION OF STRESS REDUCTION MEASURES MUST BE EITHER OBSERVED BY THE BOS OR MD DNR FOREST CONSERVATION INSPECTOR OR SENT TO THE MD DNR CENTRAL REGIONAL OFFICE.
- THE BOS OR MD DNR FOREST CONSERVATION INSPECTOR WILL DETERMINE THE EXACT METHOD TO CONVEY THE STRESS REDUCTION MEASURES DURING THE PRE-CONSTRUCTION MEETING. MEASURES NOT SPECIFIED HEREIN MAY BE REQUIRED AS DETERMINED BY THE THE BOS OR MD DNR FOREST CONSERVATION INSPECTOR IN COORDINATION WITH A CERTIFIED ARBORIST.
- APPROPRIATE MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO:
  - ROOT PRUNING
  - CROWN REDUCTION OR PRUNING
  - WATERING
  - FERTILIZING
  - TEMPORARY ROOT MATTING
  - ROOT AERATION MATTING
- TEMPORARY TREE PROTECTION DEVICES SHALL BE INSTALLED PER THE CONTRACT DOCUMENTS AND PRIOR TO ANY CONSTRUCTION ACTIVITIES. TREE PROTECTION FENCING LOCATIONS SHOULD BE STAKED AT THE PRE-CONSTRUCTION MEETING. THE BOS OR MD DNR FOREST CONSERVATION INSPECTOR, IN COORDINATION WITH THE PROJECT ENGINEER AND LANDSCAPE ARCHITECT, MAY MAKE FIELD ADJUSTMENTS TO INCREASE THE SURVIVABILITY OF TREES AND FOREST SHOWN TO BE SAVED ON THE APPROVED PLANS.
- TEMPORARY TREE PROTECTION FENCING SHALL BE CHAIN LINK FENCE (6 FEET HIGH).
- TREE PROTECTION AREA SIGNS MUST BE AFFIXED TO ALL TREE PROTECTION FENCING AT 30' SPACING, ON AVERAGE. SIGNS ARE NOT TO BE AFFIXED DIRECTLY TO TREES.
- TEMPORARY PROTECTION DEVICES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION PROJECT AND MUST NOT BE ALTERED WITHOUT PRIOR WRITTEN APPROVAL FROM THE BOS OR MD DNR FOREST CONSERVATION INSPECTOR.
- NO EQUIPMENT, TRUCKS, MATERIALS, OR DEBRIS MAY BE STORED WITHIN THE TREE PROTECTION FENCE AREAS DURING THE ENTIRE CONSTRUCTION PROJECT. NO VEHICLE OR EQUIPMENT ACCESS TO THE FENCED AREA WILL BE PERMITTED.
- TREE PROTECTION MEASURES SHALL NOT BE REMOVED WITHOUT PRIOR WRITTEN APPROVAL FROM THE BOS OR MD DNR FOREST CONSERVATION INSPECTOR.

TREE PROTECTION MEASURES + SPECIFICATIONS

GENERAL

- FENCING IN THIS CONTRACT SHALL BE PROCURED AND INSTALLED PER BALTIMORE CITY STANDARD DRAWINGS AND SPECIFICATIONS.
- FENCING FOR TREE PROTECTION AREAS SHALL REMAIN IN PLACE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD OF THIS CONTRACT.
- TREE PROTECTION FENCING SHALL BE LOCATED ON THE LIMITS-OF-DISTURBANCE LINE AS INDICATED ON THE DETAILS, UNLESS OTHERWISE NOTED ON THE PLANS.

TREE PROTECTION FENCING

- TREE PROTECTION FENCING SHALL BE 6' TALL CHAIN LINK FENCE
- TREE PROTECTION FENCING SHALL BE MEASURED TO THE TOP OF THE FENCE FABRIC.
- FENCE MATERIALS SHALL MEET THE REQUIREMENTS AS STATED IN THE BALTIMORE CITY STANDARD SPECIFICATIONS AND AS SHOWN ON THE DETAIL DRAWINGS.

TREE PROTECTION SIGNAGE

- TREE PROTECTION AREA SIGNS MUST BE AFFIXED TO ALL TREE PROTECTION FENCING AT 30' SPACING, ON AVERAGE. SIGNS ARE NOT TO BE AFFIXED DIRECTLY TO TREES.

PLASTIC FLAGGING

- PLASTIC FLAGGING MUST BE ATTACHED SECURELY ON THE TOP OF TENSION WIRE OR RAIL AT A MAXIMUM OF THREE (3) FEET AND A MINIMUM OF TWO (2) FEET CENTER, ALTERNATING SCANTS.
- EACH LENGTH OF FLAGGING, AFTER IT IS SECURED, SHOULD BE A MINIMUM LENGTH OF TWELVE (12) INCHES LONG.
- PLASTIC FLAGGING OR PLASTIC TAPE SHALL BE EITHER BRIGHT ORANGE OR FLORESCENT ORANGE IN COLOR.

ROOT PRUNING + WATERING

- ROOT PRUNING SHALL BE EXECUTED BY A CERTIFIED ARBORIST PRIOR TO HARDSCAPE INSTALLATION AND MUST BE LIMITED TO AREAS REQUIRED FOR PAVING INSTALLATION. NO ADDITIONAL ROOT PRUNING IS TO OCCUR.
- ANY EXPOSED ROOTS SELECTED TO BE PRUNED MUST BE PRUNED CLEANLY. PRUNED ROOT ENDS ARE TO BE NEATLY AND SQUARELY TRIMMED AND THE AREA IS TO BE BACKFILLED WITH CLEAN NATIVE FILL AS SOON AS POSSIBLE TO PREVENT DESICCATION AND PROMOTE ROOT GROWTH. THE EXPOSED ROOTS SHOULD NOT BE ALLOWED TO DRY OUT, AND THE CONTRACTOR SHALL DISCUSS WATERING OF THE ROOTS WITH THE CITY ARBORIST SO THAT THE ROOTS SHALL MAINTAIN OPTIMUM SOIL MOISTURE DURING CONSTRUCTION
- TREE ROOTS SHALL NOT BE EXCAVATED WITHIN THE STRUCTURAL ROOT ZONE. THE MINIMUM AREA OF THE ROOT SYSTEM NECESSARY TO MAINTAIN VITALITY OR STABILITY OF THE TREE, AS DEFINED BY THE PROJECT ARBORIST. ROOT PRUNING WITHIN THE CRITICAL ROOT ZONE, TYPICALLY EXTENDING TO THE DRIP LINE OF THE TREE, SHALL BE MINIMIZED. THE SEVERING OF ONE ROOT CAN CAUSE APPROXIMATELY 5-20% LOSS OF THE ROOT SYSTEM. A REDUCTION OF THIS AREA BY GREATER THAN 30% CAN POSE STABILITY CONCERNS FOR THE TREE.
- TRENCHES FOR ROOT PRUNING SHALL BE DUG WITH A VIBRATORY KNIFE, AND SHALL BE A MINIMUM TWO (2) FEET DEPTH.
- SPECIAL CARE DURING ROOT PRUNING SHALL BE GIVEN TO THE 34" DBH ZELKOVA ON THE WEST SIDE OF SITE 1, WHICH HAS A REDUCED ROOT ZONE, GIVEN ITS PROXIMITY TO THE ADJACENT HOUSE. ROOT PRUNING WELL WITHIN THE 57' CRITICAL ROOT ZONE SHOULD NOT BE PERFORMED.
  - TREE SHALL BE INSPECTED ANNUALLY FOR LIABILITY REASONS DUE TO POTENTIAL SAFETY HAZARDS DURING TYPICAL STORM OR EXTREME WEATHER EVENT.

FERTILIZATION

- PARTICULAR CARE SHALL BE TAKEN TO OPTIMIZE THE LONGEVITY OF PRESERVED EXISTING TREES AFTER ROOT PRUNING. PLANT HEALTHCARE APPLICATIONS (I.E. PHOSPHONATE TREATMENTS AND SLOW-RELEASE FERTILIZATION) SHOULD BE PERFORMED TO MAXIMIZE THE RECOVERY OF THE ROOT SYSTEM AND INCREASE LONGEVITY.
- TREES AT THE LIMITS-OF-DISTURBANCE SHALL RECEIVE FERTILIZATION IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS.
  - FOLLOW ALL TREE PROTECTION MEASURES INDICATED IN THE CONTRACT DRAWINGS TO PREVENT MECHANICAL INJURY TO TRUNKS AND LIMBS.
  - APPLY PHOSPHONATE TREATMENTS TO PROTECT AGAINST PHYTOPHTHORA ROOT ROT AND OTHER SOIL-BORNE PATHOGENS.
  - FERTILIZER AMOUNT, TYPE, AND FREQUENCY SHALL BE ACCORDING TO A CERTIFIED ARBORIST'S RECOMMENDATIONS FOR APPROPRIATE NUTRIENT PROFILE. CONSULT ARBORIST PRIOR TO FERTILIZATION.
  - FERTILIZER SHALL BE APPLIED BY METHOD OF INJECTION BY A CERTIFIED ARBORIST.
  - INJECTION FERTILIZATION SHALL NOT OCCUR WITHIN THREE (3) FEET OF THE TRUNK OF THE TREE.

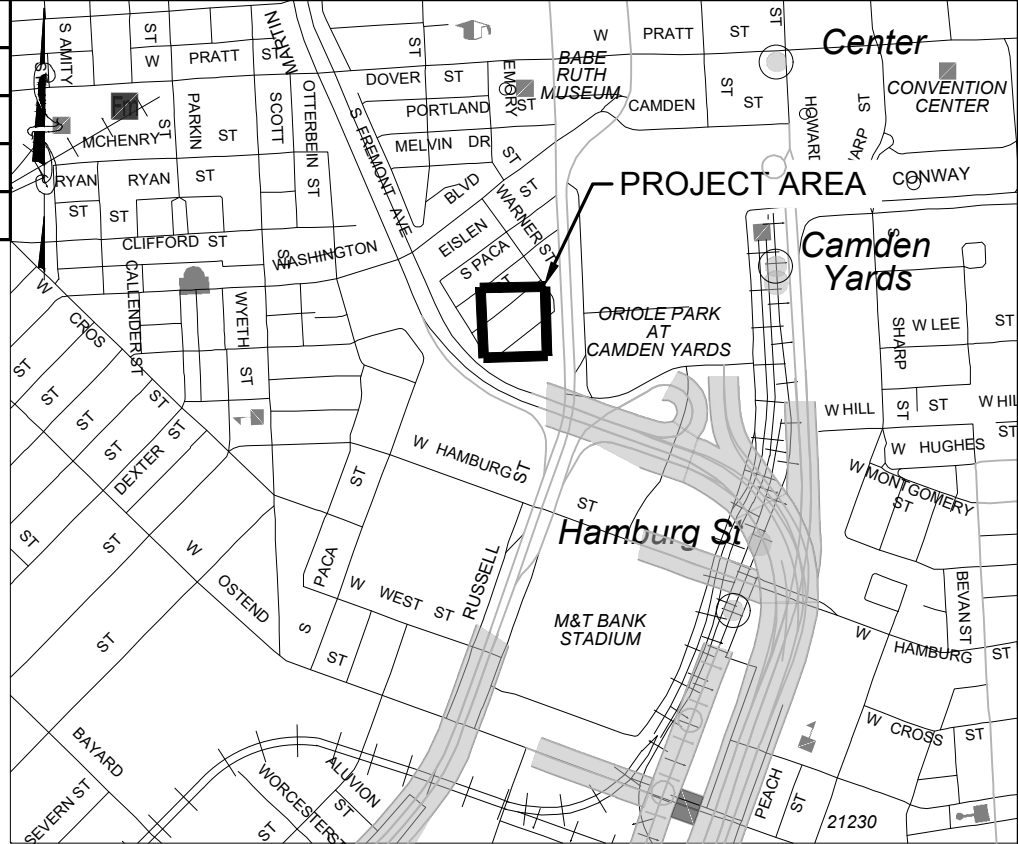
DURING CONSTRUCTION

- ALL WORK NEAR TREE PRESERVATION AREAS SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE DAMAGE TO TREES, SHRUBS, GROUND COVER, SOIL AND ROOT SYSTEMS. NO WORK SHALL BE UNDERTAKEN WITHIN TREE PROTECTION AREAS. ACTIVITIES PROHIBITED WITHIN THE TREE PROTECTION AREA AND CRITICAL ROOT ZONES OF EXISTING TREES INCLUDE BUT ARE NOT LIMITED TO:
  - OPERATING OR PARKING CONSTRUCTION EQUIPMENT
  - STORAGE OF CONSTRUCTION MATERIAL OR DEBRIS
  - STOCKPILING OF SOIL OR OTHER MATERIALS
  - ALTERATION OF GRADES IN ADJACENT AREAS WHICH WILL CAUSE DRAINAGE TO FLOW INTO, OR TO COLLECT IN PROTECTED AREAS
- ALL TREES TO BE REMOVED MUST BE REMOVED IN A MANNER THAT WILL NOT DAMAGE THE REMAINING TREES.
- ANY DAMAGE TO EXISTING TREES TO REMAIN SUCH AS BROKEN LIMBS, DAMAGE TO ROOTS, OR WOUNDS TO THE MAIN TRUNK OR STEM SYSTEMS ARE TO BE REPORTED TO BOS/THE CITY ARBORIST AND THE PROJECT LANDSCAPE ARCHITECT SO THAT THE DAMAGE CAN BE ASSESSED IMMEDIATELY AND REPAIR OR MITIGATION CAN BE PROMPTLY IMPLEMENTED.
- PERIODIC INSPECTIONS BY THE BOS OR MD DNR FOREST CONSERVATION INSPECTOR WILL OCCUR DURING THE CONSTRUCTION PROJECT. CORRECTIONS AND REPAIRS TO ALL TREE PROTECTION DEVICES, AS DETERMINED BY A BOS OR MD DNR FOREST CONSERVATION INSPECTOR, MUST BE MADE WITHIN THE TIMEFRAME ESTABLISHED BY THE INSPECTOR.
- REMOVAL OF BRICK PAVING IN THE CRITICAL ROOT ZONES OF EXISTING TREES IS TO BE COMPLETED BY HAND.
- CONTRACTOR, ARBORIST, LANDSCAPE ARCHITECT, AND OWNER TO MEET TO DETERMINE SPECIFIC METHOD(S) OF SOIL DECOMPACTION AND SOIL IMPROVEMENT IN CRITICAL ROOT ZONES.
  - INITIAL RECOMMENDATION IS FOR A COMBINED TREATMENT OF AIR SPADING, BIOCHAR, AND SURFACE APPLICATION OF ARBORIST WOOD CHIPS OR MULCH FOR OPTIMAL SOIL QUALITY.
  - VERTICAL MULCHING AND SURFACE APPLICATION OF ARBORIST WOOD CHIPS MAY BE CONSIDERED IF AIR SPADING IS COST PROHIBITIVE.
  - ARBORIST WOOD CHIP SURFACE LAYER IS AN EFFECTIVE TREATMENT DUE TO ANTICIPATED TREE DECOMPOSITION AND TIMED RELEASE OF ORGANIC MATTER (SLOW FERTILIZATION).
- PERFORM STRUCTURAL PRUNING TO REMOVE DEAD BRANCHES AND LIMBS AS INSTRUCTED BY BOS OR A CERTIFIED ARBORIST.
- EXISTING TREES WHICH ARE RETAINED MAY EXPERIENCE SHOCK CAUSED BY THE CONSTRUCTION ACTIVITY. ALL POSSIBLE SAFEGUARDS MUST BE TAKEN TO MINIMIZE THESE EFFECTS AND TO PROVIDE OPTIMUM GROWTH CONDITIONS. MEASURES MAY INCLUDE WATERING, MULCHING, PRUNING AND/OR FERTILIZING PROTECTED TREES.
- REGULAR WATERING OF EXISTING TREES DURING HOT AND DRY MONTHS IS REQUIRED.

POST CONSTRUCTION

- AFTER CONSTRUCTION IS COMPLETED, AN INSPECTION SHALL BE REQUESTED. CORRECTIVE MEASURES MAY INCLUDE:
  - REMOVAL AND REPLACEMENT OF DEAD AND DYING TREES
  - PRUNING OF DEAD OR DECLINING LIMBS
  - SOIL AERATION
  - FERTILIZATION
  - WATERING
  - WOUND REPAIR
  - CLEAN-UP OF RETENTION AREAS
- AFTER INSPECTION AND COMPLETION OF CORRECTIVE MEASURES HAVE BEEN UNDERTAKEN, ALL TEMPORARY PROTECTION DEVICES SHALL BE REMOVED FROM THE SITE. REMOVAL OF TREE PROTECTION DEVICES THAT ALSO OPERATE FOR EROSION AND SEDIMENT CONTROL MUST BE COORDINATED WITH BOTH THE BALTIMORE CITY PERMITTING DEPARTMENT AND A BOS OR MD DNR CONSERVATION INSPECTOR.
- NO ADDITIONAL GRADING, SODDING, OR BURIAL MAY TAKE PLACE AFTER THE TREE PROTECTION FENCING AND OTHER MEASURES HAVE BEEN REMOVED.
- REGULAR WATERING OF EXISTING TREES DURING HOT AND DRY MONTHS IS REQUIRED. WATERING CAN BE TIMED WITH NEW PLANT INSTALLATION WATERING.

AS-BUILT REVISIONS	NO.	DESCRIPTION	DATE	BY
BY: _____				
DATE: _____				



VICINITY MAP

SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

1 TREE PROTECTION AND SOIL DECOMPACTION NOTES



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

ENGINEER: KELLY LINDOW  
DATE: 03/31/2025 LICENSE NO: 1040805  
EXP. DATE: 06/21/2025

DESIGNED: KL  
DRAWN: CJ  
CHECKED: KL

WARD: 22  
SECTION: 060 SECT. APP.  
BLOCK: 0861  
LOT: 005

BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

LANDSCAPE ARCHITECT

ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
PHONE: 443-956-9278

ELECTRICAL ENGINEER

THOMAS FOULKES LLC  
MECHANICAL/ELECTRICAL/PLUMBING  
1400 MASON STREET  
BALTIMORE, MD 21217  
410.262.1806

APPLICANT/DEVELOPER

SOUTH BALTIMORE  
GATEWAY PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
PHONE: (410) 424-7593

CIVIL ENGINEER

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD,  
SUITE 214  
BALTIMORE, MD 21211  
PHONE: (410) 601-3290

OWNER

MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	DEVELOPER'S AGREEMENT #TBD
DIRECTOR, DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS
APPROVAL RECOMMENDED	APPROVED
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DIRECTOR, DEPARTMENT OF PUBLIC WORKS
DATE	DATE
DATE	DATE

SCALE: AS SHOWN  
DWG NAME: TREE PROTECTION NOTES

DATE: 05/01/2025  
SHEET: 05 OF 18

CONWAY STREET PARK  
RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS

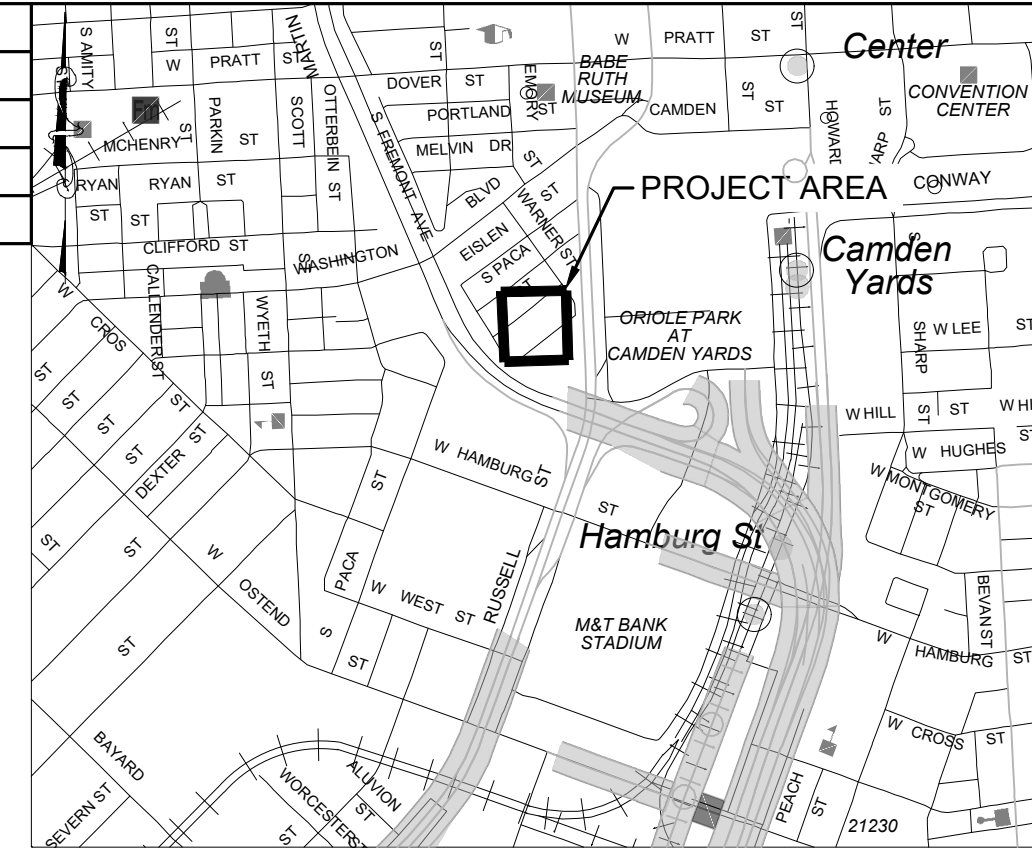
C-103R

TREE PROTECTION NOTES

PROPERTY ADDRESS:  
610 W CONWAY STREET  
BALTIMORE, MD 21230



AS-BUILT REVISIONS	NO.	DESCRIPTION	DATE	BY
BY: _____				
DATE: _____				



VICINITY MAP  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

## STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

## STABILIZED CONSTRUCTION ENTRANCE NOTE

WHERE NO SCE IS PROVIDED, THE CONTRACTOR SHALL DESIGNATE PIECES OF CONSTRUCTION EQUIPMENT THAT SHALL BE ALLOWED WITHIN THE LOD. THIS EQUIPMENT SHALL BE KEPT WITHIN THE LOD UNTIL THE PROPOSED WORK IS COMPLETE AND SHALL HAVE TREADS/TIRES CLEANED PRIOR TO LEAVING THE LOD. ALL MATERIAL REMOVAL OR DELIVERY SHALL BE LIFTED FROM OR INTO THE LOD AND ANY SEDIMENT TRACKED OR DROPPED OUTSIDE THE LOD CLEANED IMMEDIATELY.

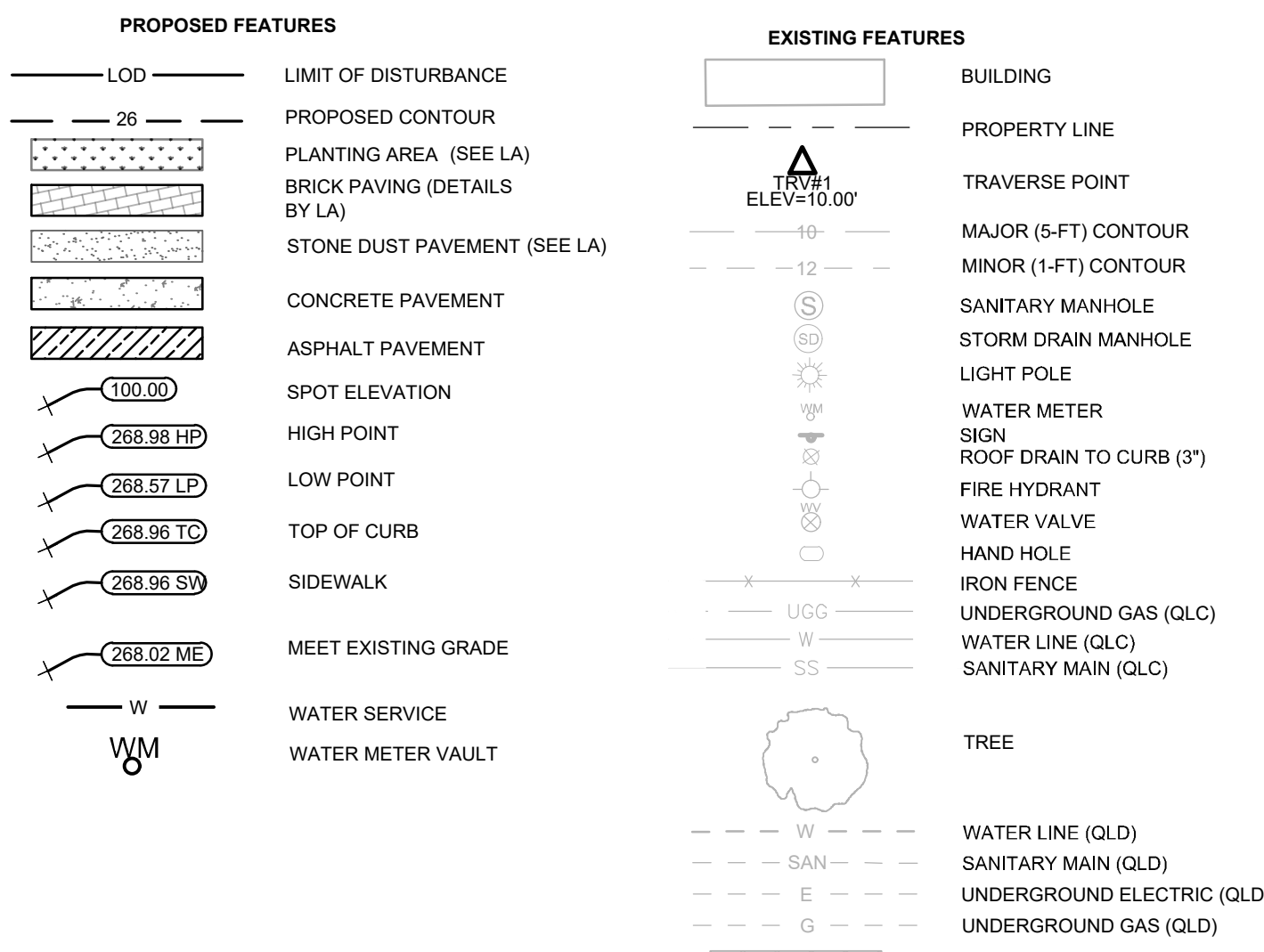
## EARTHWORK SUMMARY

TOTAL DISTURBED AREA	4,915 SF
TOTAL CUT (salvaged and backfilled)	15 CY
TOTAL CUT (hauled)	30 CY
TOTAL FILL (imported)	44.32 CY
<b>TOTAL EARTHWORK (imported + hauled)</b>	<b>74.32 CY</b>

DATA IS APPROXIMATE AND IS PROVIDED FOR BALTIMORE CITY REVIEW ONLY. CONTRACTOR TO VERIFY DATA AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

SITE 2: DOT R.O.W  
PARCEL

MATERIALS PLAN SEE L102R  
LAYOUT PLANS SEE L103R  
PLANTING PLAN SEE 301R



## 1 PROPOSED GRADING & UTILITY PLAN

**GRADING NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
2. CONTRACTOR TO IMMEDIATELY NOTIFY CIVIL ENGINEER AND OWNER OF ANY DISCREPANCIES IN THE EXISTING CONDITIONS AND/OR PROPOSED GRADES DEPICTED ON THIS PLAN.
3. CONTRACTOR TO ENSURE PROPOSED SIDEWALK, CURB, AND GUTTER TIES INTO EXISTING SIDEWALK, CURB, AND GUTTER IN LINE AND ON-GRADE.
4. CONTRACTOR TO ENSURE PROPOSED PAVEMENT TIES INTO EXISTING PAVEMENT IN LINE AND ON-GRADE.
5. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS, CURB AND GUTTER, AND SIDEWALK WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
6. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO PROVIDE 3H:1V MAXIMUM TIE-IN SLOPES WHERE NEEDED.
8. GRADING FOR SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE.
9. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTIONS AT ACCESSIBLE PARKING LOCATIONS, TOP/BOTTOM OF RAMPS, OR IN FRONT OF BUILDING DOORS.
10. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION ALONG THE ACCESSIBLE WALKING PATH OR PARKING AREAS IDENTIFIED.

11. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AND DISPOSED OF OFF-SITE AS DIRECTED BY THE OWNER. ALL DISPOSAL SHOULD BE DONE AT A SITE WITH APPROVED APPLICABLE PERMITS.
12. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
13. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
14. FINISHED NEW GRADE SHALL MATCH EXISTING ADJACENT SURFACES SMOOTHLY WITHOUT CREATING TRIPPING HAZARDS OR PONDING AREAS.
15. CONTRACTOR SHALL LIMIT GRADING OPERATIONS TO DESIGNATED LIMITS OF DISTURBANCE AREAS TO PREVENT DISTURBANCE TO ADJACENT PROPERTIES OR EXISTING VEGETATION TO REMAIN.

**LANDSCAPE, LAYOUT & HARDSCAPE NOTES:**

1. REFER TO LANDSCAPE SHEETS FOR DETAILED HARDSCAPE LAYOUT AND MATERIALS.
2. REFER TO LANDSCAPE SHEETS FOR PROPOSED PLANTING PLAN

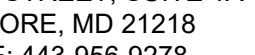


**GENERAL NOTES FOR UTILITY WORK:**

1. WORK WITHIN THE CITY RIGHT-OF-WAY WILL REQUIRE A TEMPORARY USE OF THE RIGHT-OF-WAY PERMIT. THIS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING RIGHT-OF-WAY WORK.
2. ANY WORK PERFORMED ON PUBLIC STORMDRAIN, WATER AND/OR SANITARY SYSTEMS MAINTAINED BY BALTIMORE CITY DPW, INCLUDING HOUSE SERVICE CONNECTIONS, MUST BE PERFORMED BY A CITY-APPROVED BONDED DRAIN LAYER. THE WORK WILL REQUIRE A UTILITY ENTERPRISE PERMIT WHICH MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK.
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF BALTIMORE CITY DEPARTMENT OF PUBLIC WORKS "SPECIFICATIONS FOR MATERIALS, HIGHWAYS, BRIDGES, UTILITIES AND INCIDENTAL STRUCTURES", "BOOK OF STANDARDS", AND THE BALTIMORE CITY PLUMBING CODE.
4. EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS OWN SATISFACTION.
5. BEFORE DOING ANY DIGGING, THE CONTRACTOR MUST NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST FIVE (5) DAYS PRIOR TO BEGINNING WORK.
6. GRAVEL CRADLE IS REQUIRED UNDER ALL PIPES PER B 830.03. TRENCHING AND BACKFILL MUST BE DONE IN ACCORDANCE WITH CITY SPECIFICATIONS 31 23.33. ALL BACKFILL SHALL BE MECHANICALLY TAMPED.
7. PAVING AND SIGNAGE NOTES:
  - a. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY TEMPORARY "NO STOPPING" PROHIBITION SIGNING THAT WILL BE NECESSARY TO COMPLETE THIS PROJECT.
  - b. EXISTING PAVING TO BE REPAIRED IN KIND AS REQUIRED. DISTURBED CURB SHALL BE REPLACED IN KIND TO THE NEAREST EXISTING JOINT.
  - c. SIDEWALK REPLACEMENT SHALL BE IN ACCORDANCE WITH STD. C 655.10 (BRICK SIDEWALK)
  - d. THE CONTRACTOR IS RESPONSIBLE FOR ANY PAVEMENT MARKINGS DAMAGED OR DESTROYED DURING CONSTRUCTION.
  - e. THE CONTRACTOR IS RESPONSIBLE FOR ANY SIGNS DAMAGED OR DESTROYED DURING CONSTRUCTION.

**WATER SERVICE NOTES:**

1. INSTALL NEW  $\frac{3}{4}$ " SERVICE WITH WATER METER VAULT & WATER METER SETTING PER STD BO 836.01.
2. DO **NOT** INSTALL A METER.
3. CONTRACTOR IS NOT RESPONSIBLE FOR METER INSTALLATION OR ACTIVATING THE WATER SERVICE. SEASONAL WATER SERVICE WILL BE COORDINATED BY THE NEIGHBORHOOD ASSOCIATION AT A LATER DATE THROUGH THE CITY'S WATER ACCESS PROGRAM
4. WATER PLAT: CC-24; ZONE (2)

[illegible]

LANDSCAPE ARCHITECT	ELECTRICAL ENGINEER	APPLICANT/DEVELOPER	CIVIL ENGINEER
<p>ENVIROCOLLAB, LLC 111 E 25TH STREET, SUITE 1A BALTIMORE, MD 21218 PHONE: 443-956-9278</p> 	 <p>THOMAS FOULKES LLC 1400 MASON STREET BALTIMORE MD 21217 410.262.1806</p>	<p>SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 PHONE: (410) 424-7593</p>	<p>CITYSCAPE ENGINEERING, LLC 3600 CLIPPER MILL RD. SUITE 214 BALTIMORE, MD 21211 PHONE: (410) 601-3290</p> 

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE  DEVELOPER'S AGREEMENT #TBD
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	<b>CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS</b>  <b>C-200R</b>  PROPOSED GRADING & UTILITY PLAN  PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230
DIRECTOR, DEPARTMENT OF TRANSPORTATION	
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	SCALE: AS SHOWN  DATE: 05/01/2025
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	
	DWG NAME: PROPOSED GRADING & UTILITY PLAN
	SHEET: 07 OF 18

SCALE: AS SHOWN DATE: 05/01/2025

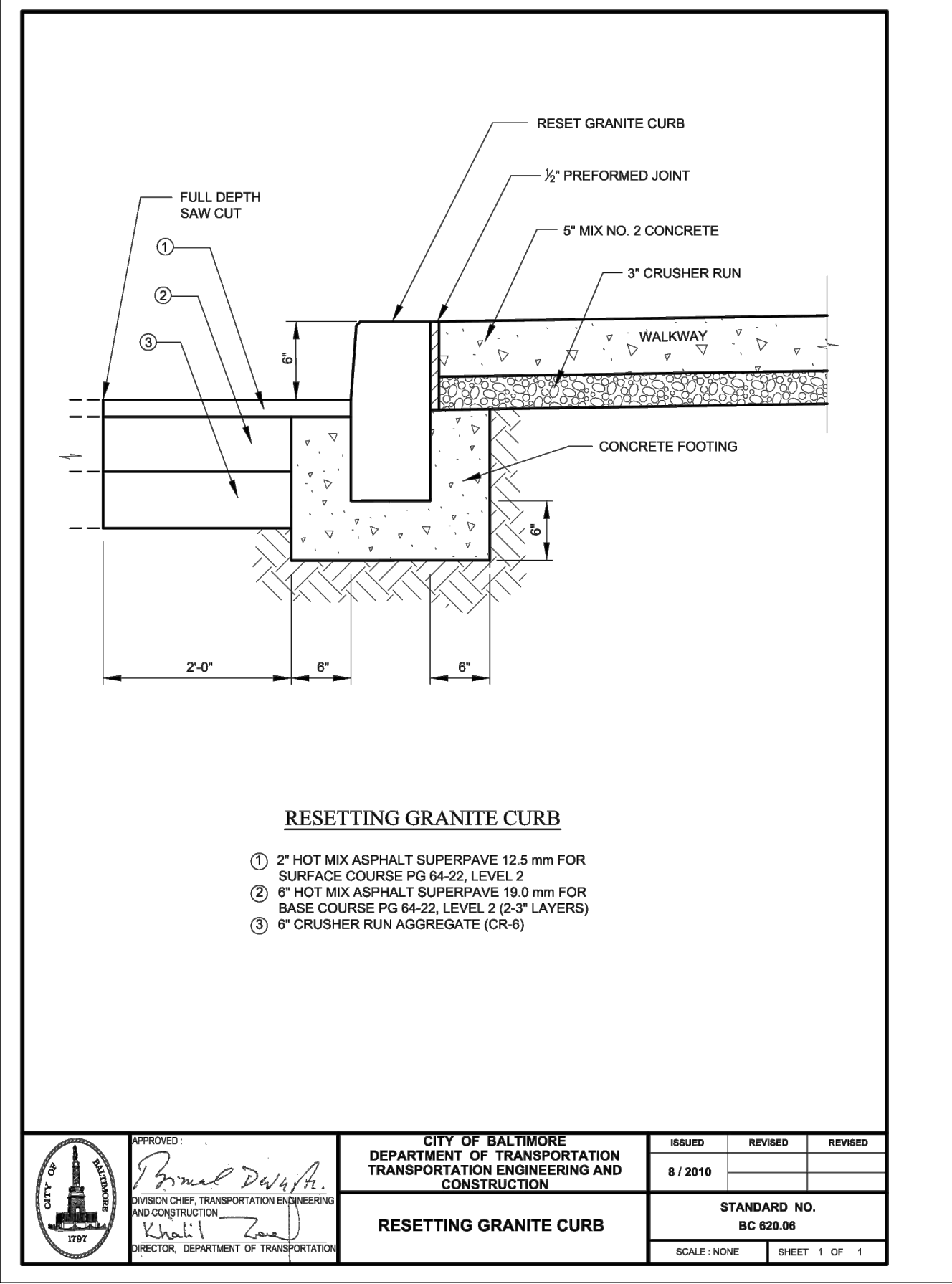
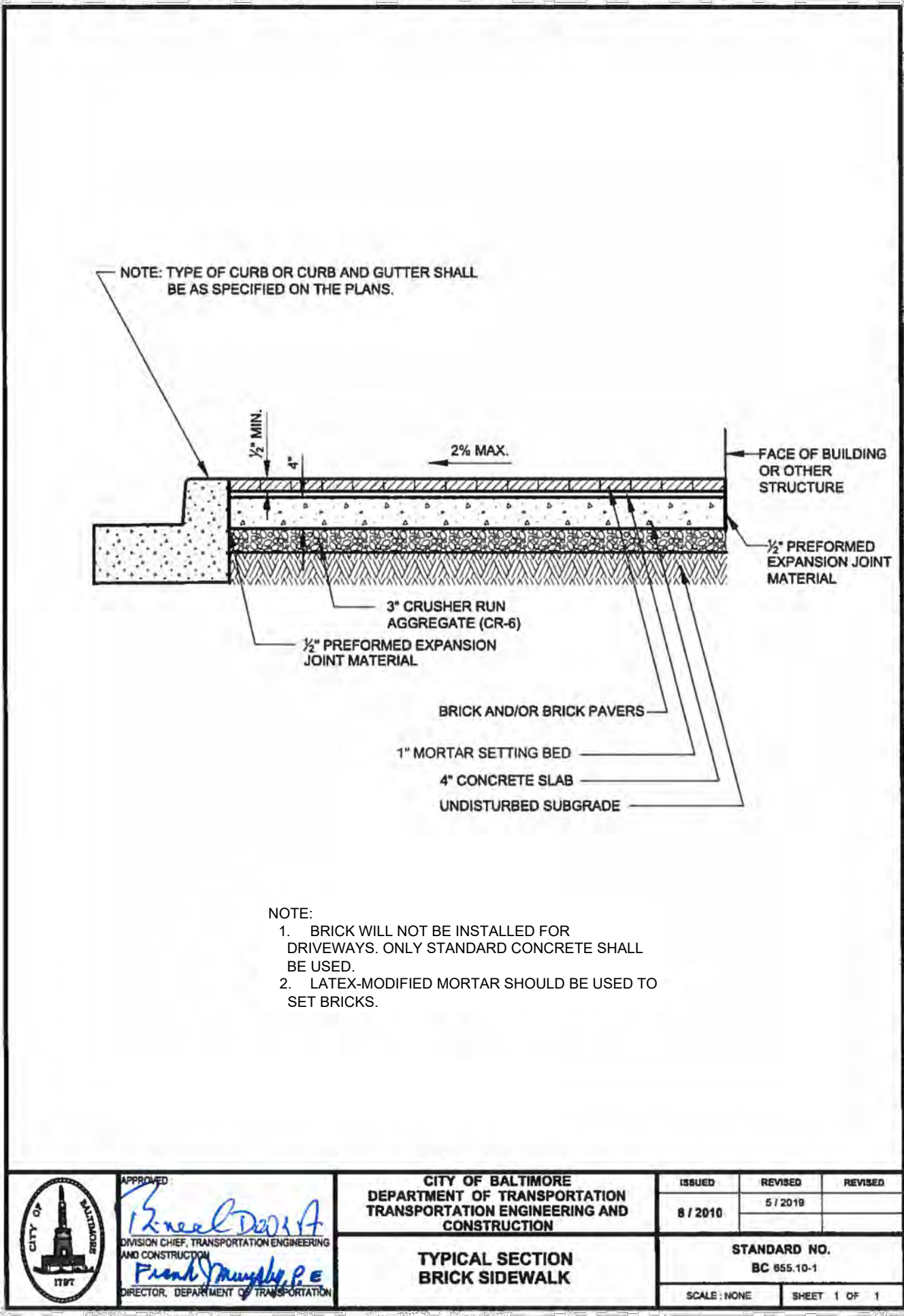
DWG NAME: PROPOSED GRADING & UTILITY PLAN

DATE: 05/01/2025

SHEET: 07 OF 18

Save at: C:\Users\kclinc\CityScope Engineering LLC\2023 Projects - Documents\23-10 Conway Street Park\CAD\Plot\C200R- Conway Street ROW.dwg; Saved By: kclinc on 4/30/2025 8:34 PM



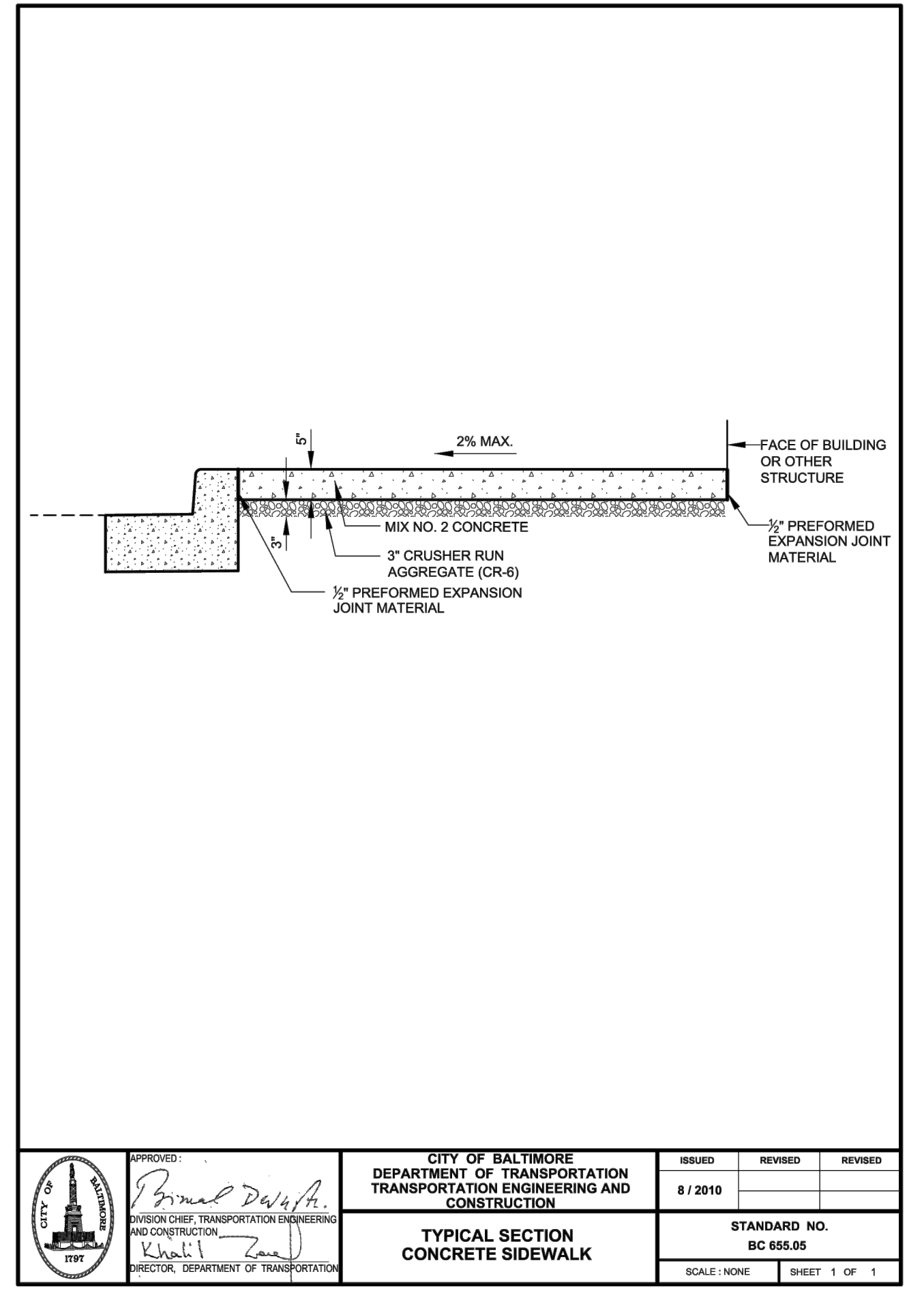
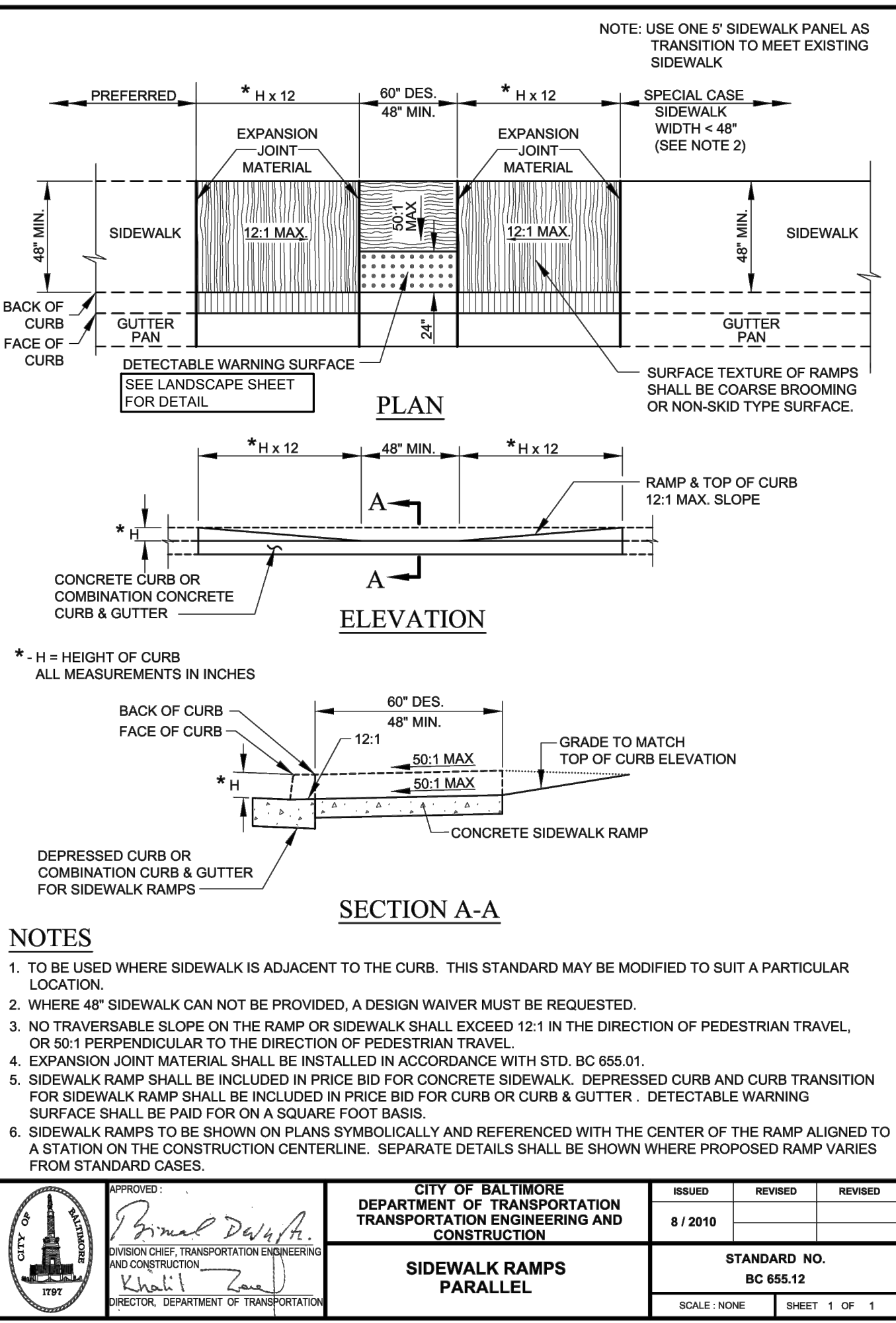


PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

ENGINEER: KELLY LINDOW  
DATE: 03/31/2025 LICENSE NO: 40805  
EXP. DATE: 06/21/2025

DESIGNED: KL  
DRAWN: CJ  
CHECKED: KL

BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													



WARD: 22	SECTION: 060	SECT.	APP.
BLOCK: 0861			
LOT: 005			

LANDSCAPE ARCHITECT

ENVIROCOLLAB, LLC  
111 E 25TH STREET, SUITE 1A  
BALTIMORE, MD 21218  
PHONE: 443-956-9278

ELECTRICAL ENGINEER

THOMAS FOULKES LLC  
1400 MASON STREET  
BALTIMORE, MD 21217  
410.262.1806

APPLICANT/DEVELOPER

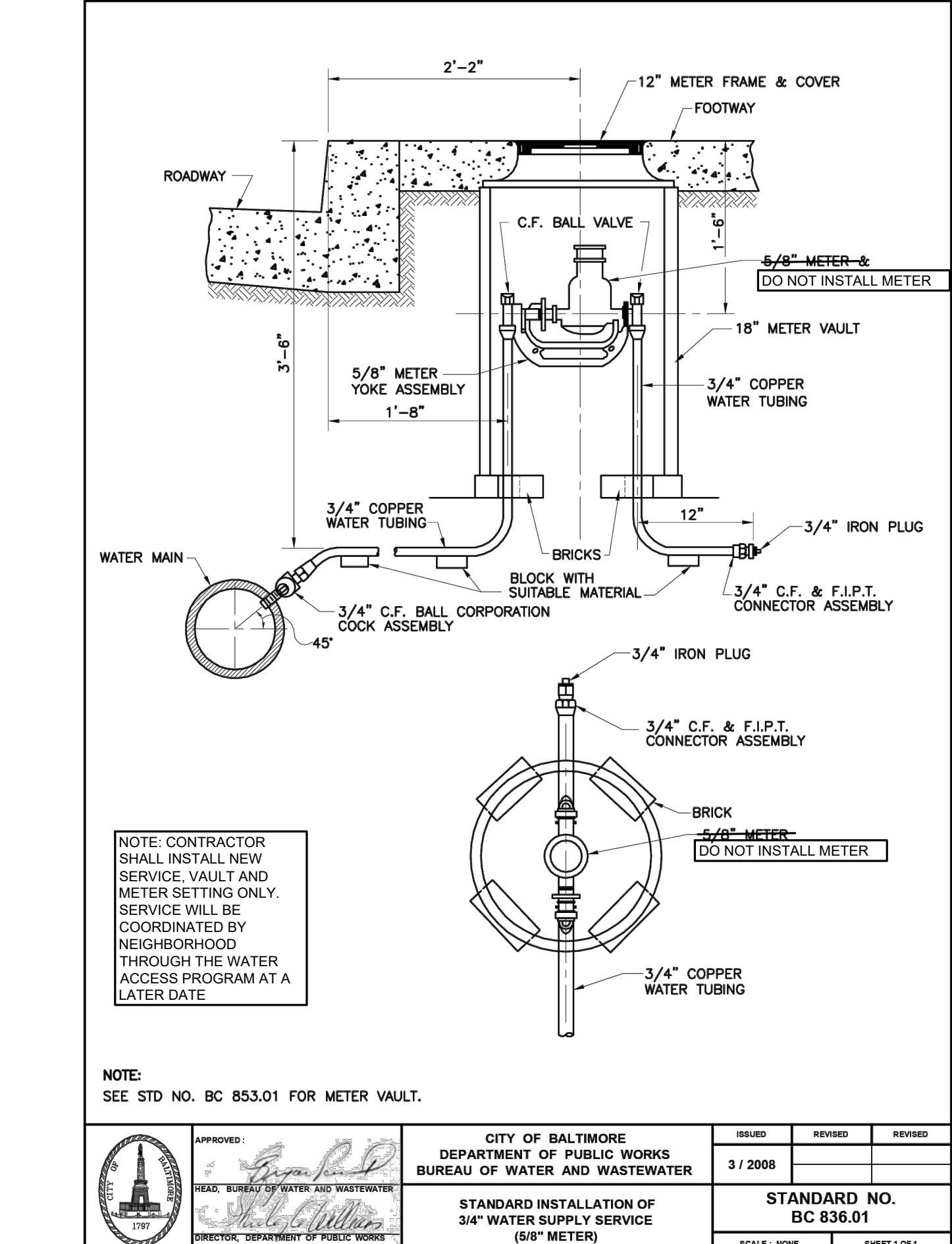
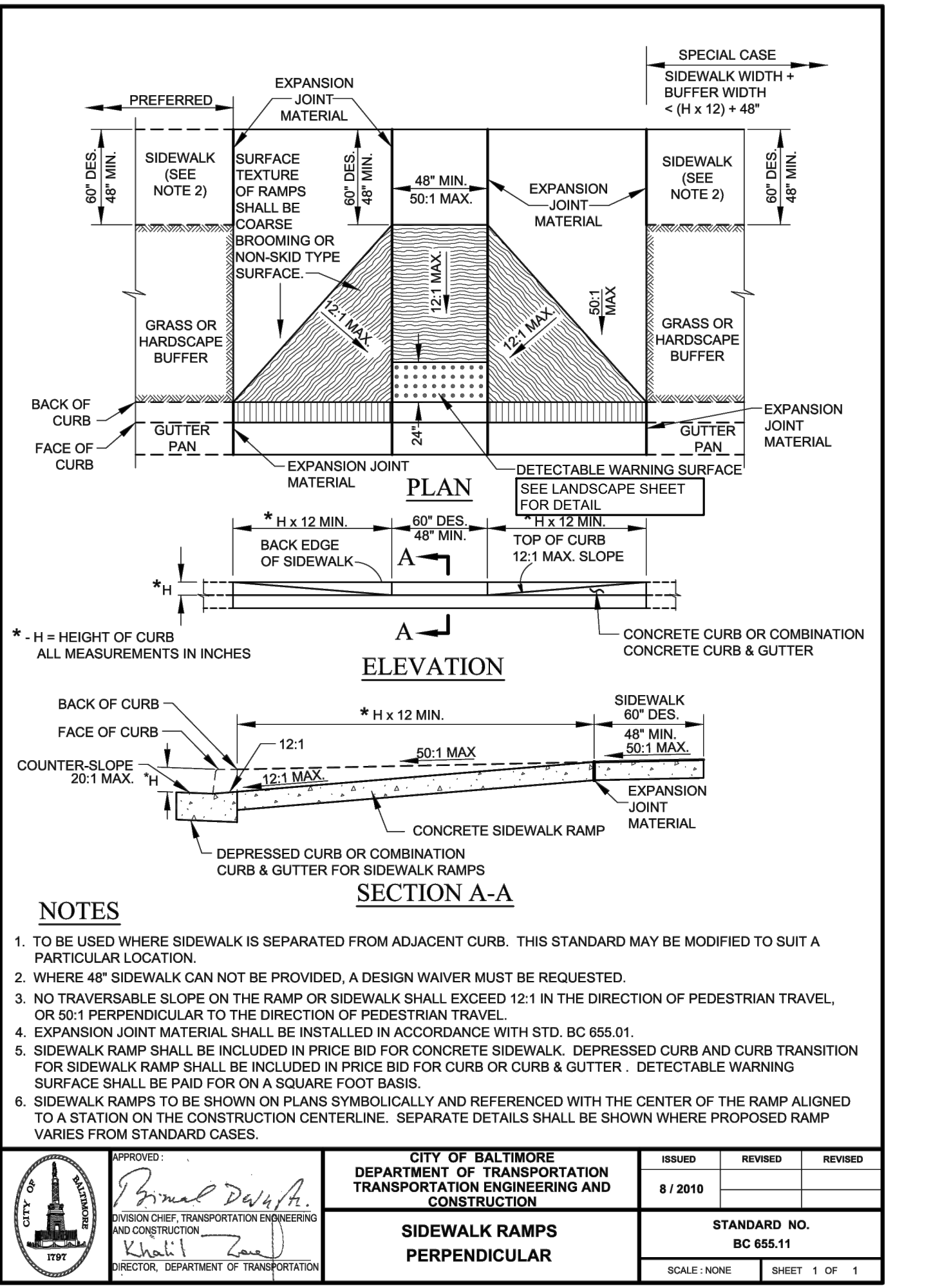
SOUTH BALTIMORE  
GATEWAY PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21202  
PHONE: (410) 424-7593

CIVIL ENGINEER

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD.,  
SUITE 214  
BALTIMORE, MD 21211  
PHONE: (410) 601-3290

OWNER

MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202



CITY OF BALTIMORE  
DEPARTMENT OF PUBLIC WORKS  
BUREAU OF WATER AND WASTEWATER

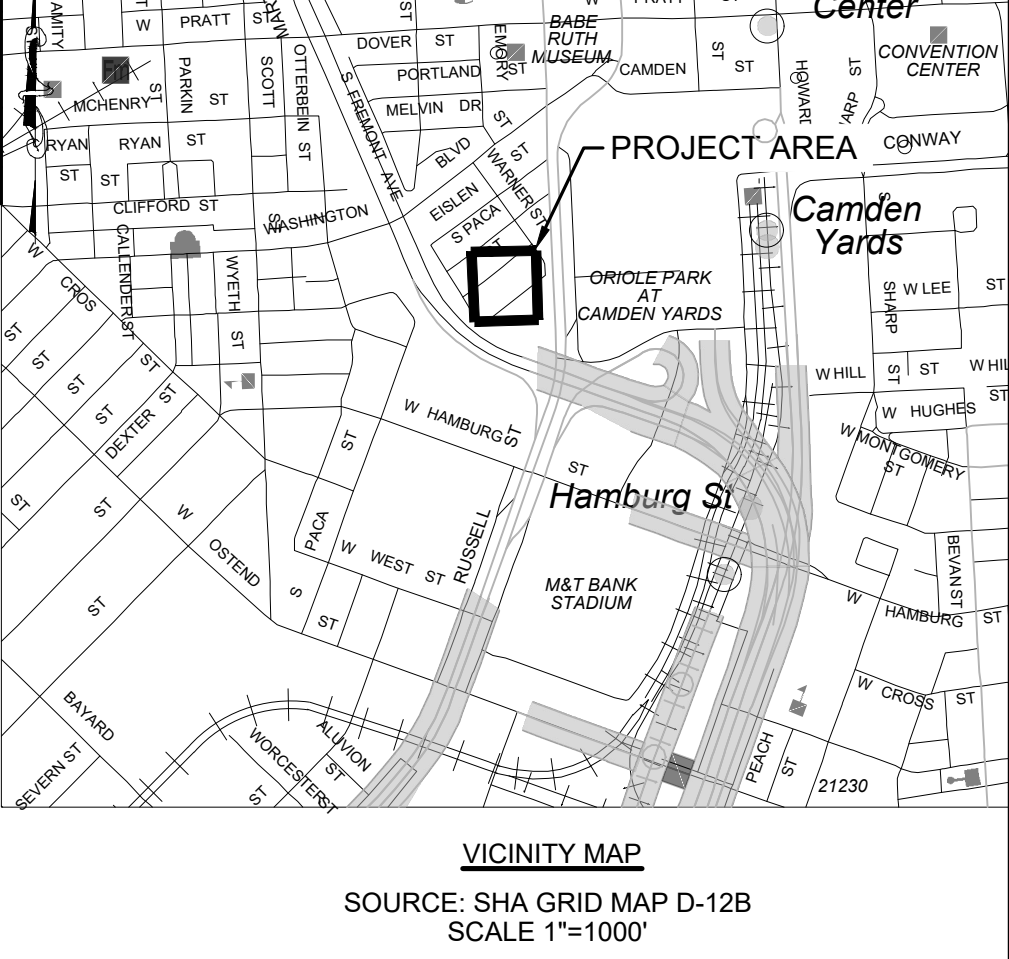
STANDARD INSTALLATION OF 3/4" WATER SUPPLY SERVICE (6/8" METER)

3 / 2008

STANDARD NO. BC 836.01

SCALE: NONE SHEET 1 OF 1

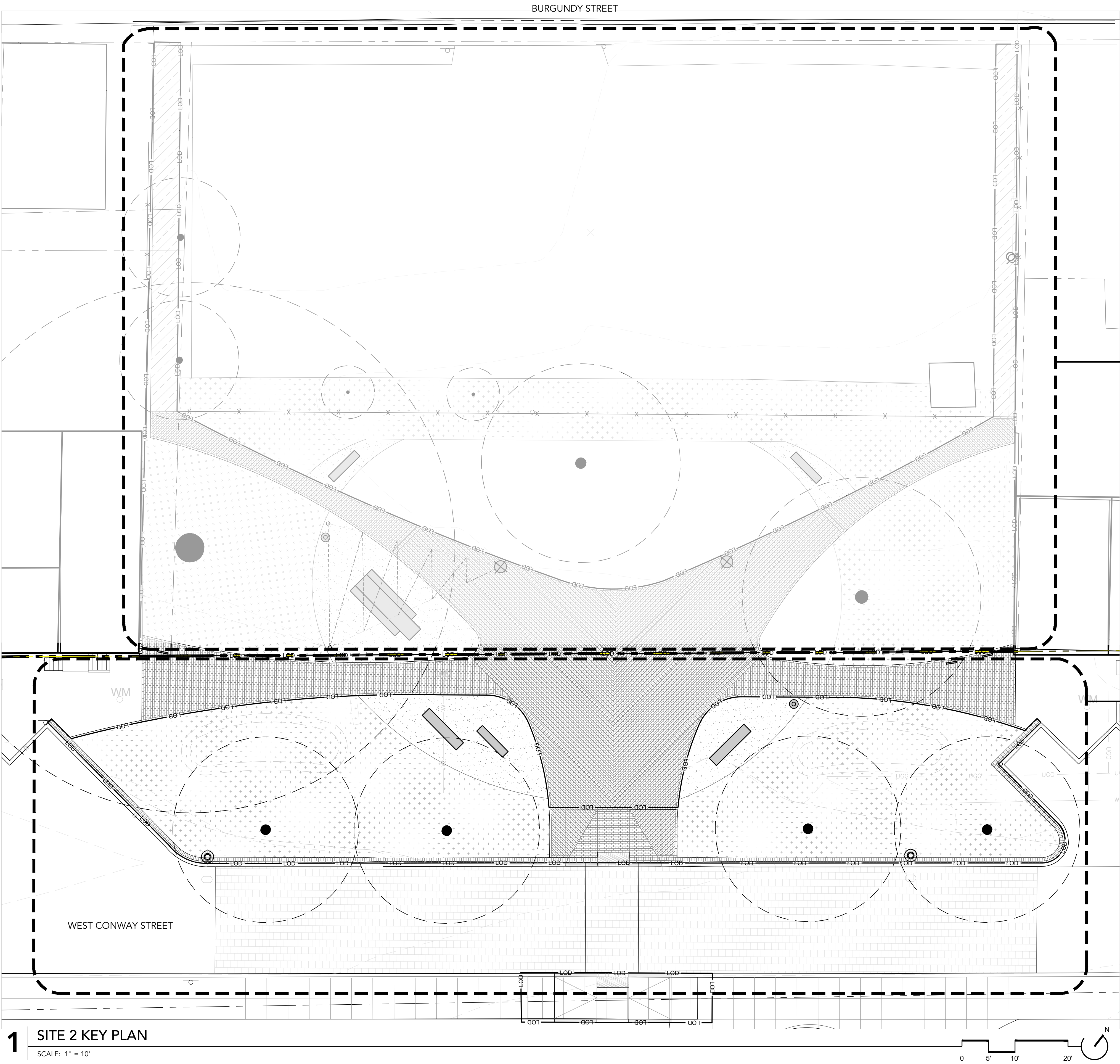
AS-BUILT REVISIONS	NO.	DESCRIPTION	DATE	BY
BY:				
DATE:				



REFER TO LANDSCAPE SHEETS (L201R) FOR STONE DUST PAVING, BRICK PAVING (SALVAGED) AND DETECTABLE WARNING STRIP DETAILS

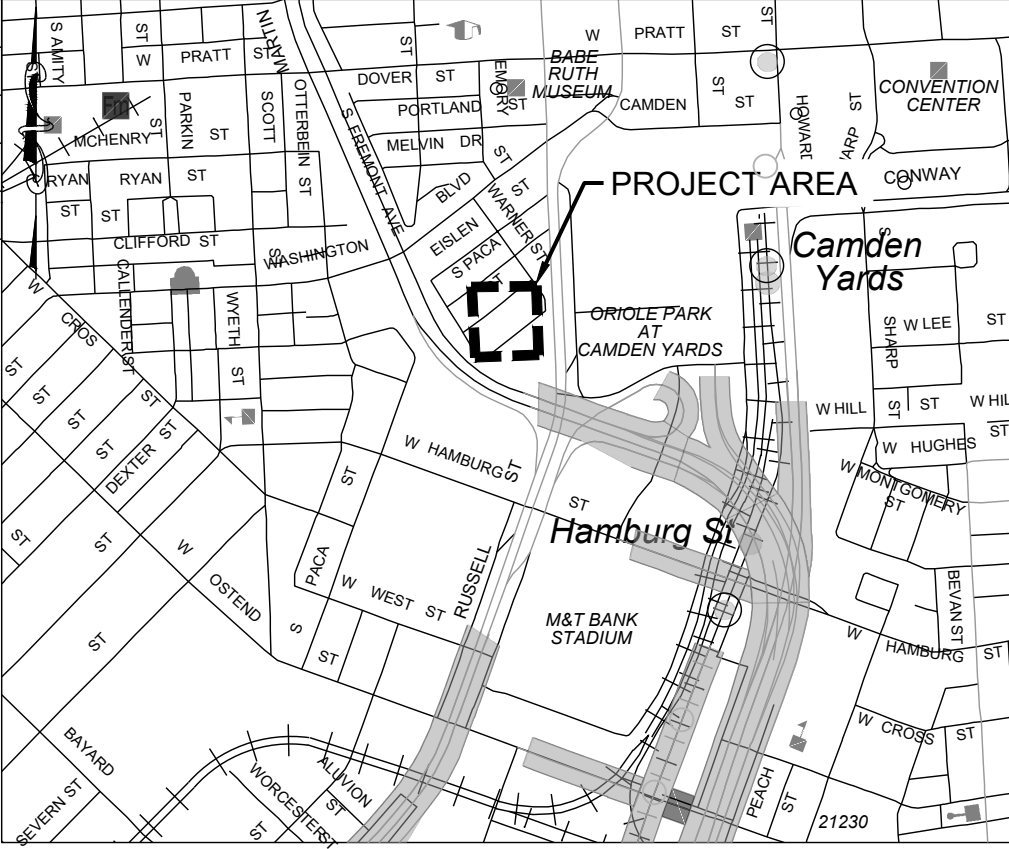
CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	DEVELOPER'S AGREEMENT #TBD
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE
SCALE: AS SHOWN	DATE: 05/01/2025
DWG NAME: STANDARD PAVEMENT & UTILITY DETAILS	SHEET: 08 OF 18





1 SITE 2 KEY PLAN  
SCALE: 1" = 10'

AS-BUILT REVISIONS	NO.	DESCRIPTION	DATE	BY
BY: _____				
DATE: _____				



VICINITY MAP  
SOURCE: SHA GRID MAP D-12B  
SCALE 1"=1000'

SITE 1: ON-SITE PARCEL  
REFER TO SEPARATE DRAWING SERIES L101 - L402

SITE 2: RIGHT-OF-WAY (R.O.W.) PARCEL  
MATERIALS PLAN, SEE L102R  
LAYOUT PLAN, SEE L103R  
HARDSCAPE DETAILS, SEE L201R AND L202R  
HARDSCAPE NOTES, SEE L203R


PLANTING PLAN, SEE 1/L301R  
MITIGATION PLANTING PLAN, SEE L302R  
PLANTING DETAILS, SEE L401R  
PLANTING NOTES, SEE L402R

#### LANDSCAPE SHEET INDEX

Sheet Number	Sheet Title
L101R	KEY PLAN - ROW
L102R	MATERIALS PLAN - ROW
L103R	LAYOUT PLAN - ROW
L201R	HARDSCAPE DETAILS - ROW
L202R	HARDSCAPE DETAILS - ROW
L203R	HARDSCAPE NOTES - ROW
L301R	PLANTING PLAN - ROW
L302R	MITIGATION PLANTING PLAN - ROW
L401R	PLANTING DETAILS - ROW
L402R	PLANTING NOTES - ROW

#### GENERAL NOTES

- REFER TO L102R FOR HARDSCAPE MATERIALS, L103R FOR LAYOUT INFORMATION, L200R SERIES FOR HARDSCAPE DETAILS + NOTES, L300R SERIES FOR PLANTING PLANS, AND L400R SERIES FOR PLANTING DETAILS + NOTES.
- REFER TO CIVIL DRAWINGS FOR EXISTING CONDITIONS, TREE PRESERVATION, DEMOLITION, EROSION + SEDIMENT CONTROL, GRADING, DRAINAGE, AND UTILITIES.
- CONTRACTOR TO SUBMIT SAMPLES AND PRODUCT INFORMATION FOR ALL PAVING, FURNISHINGS AND PLANT MATERIALS FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- IF PROPOSED SITE ELEMENTS ARE IN CONFLICT WITH EXISTING UTILITIES BASED ON CONTRACTOR'S FINDINGS, CONTRACTOR TO ALERT OWNER AND LANDSCAPE ARCHITECT IN WRITING TO DETERMINE ALTERNATE LOCATION.


		PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.													
		LANDSCAPE ARCHITECT: <u>HEIDI THOMAS</u> LICENSE NUMBER: <u>4064</u> EXP. DATE: <u>11/05/2026</u>					DESIGNED: <u>CO, HT</u> DRAWN: <u>CO, PB</u> CHECKED: <u>HT</u>					WARD: <u>22</u>			
												SECTION: <u>060</u> SECT.      APP.			
		BLOCK: <u>0861</u>													
												LOT: <u>005</u>			
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE		
BY															
DATE															

LANDSCAPE ARCHITECT

ENVIROCOLLAB LLC  
111 E. 26TH STREET, SUITE 1A  
BALTIMORE, MD ~21218  
PHONE: 443-956-9278



ELECTRICAL ENGINEER

 THOMAS FOULKES LLC  
MECHANICAL/ELECTRICAL/PLUMBING  
1400 MASON STREET  
BALTIMORE MD 21217  
410.262.1806

APPLICANT/DEVELOPER

SOUTH BALTIMORE  
GATEWAY PARTNERSHIP  
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STE 1000  
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CIVIL ENGINEER

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD.,  
SUITE 214  
BALTIMORE, MD 21211  
(410) 601-3290



OWNER

MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

CITY OF BALTIMORE

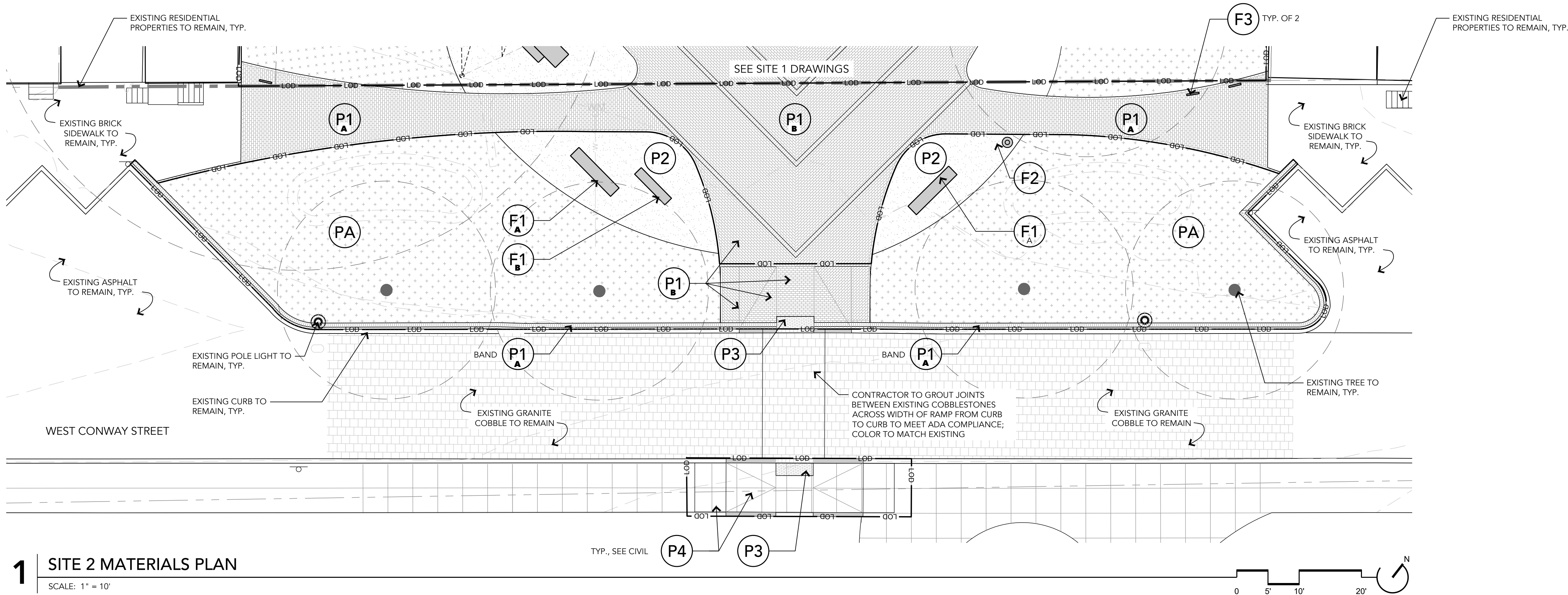
CONWAY STREET PARK  
RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS

L101R

KEY PLAN - ROW  
PROPERTY ADDRESS:  
610 W CONWAY STREET  
BALTIMORE, MD 21230

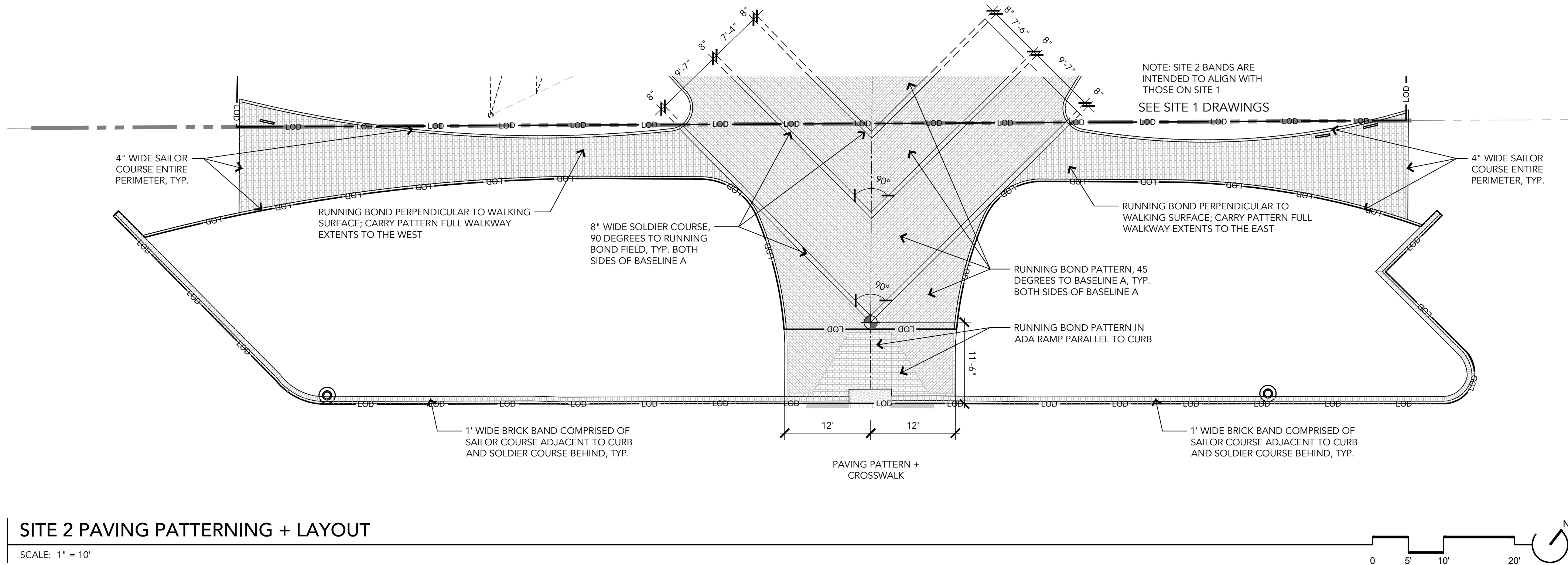
SCALE: AS SHOWN      DATE: 05/01/2025  
DWG NAME:      SHEET: 09 OF 18





1 SITE 2 MATERIALS PLAN

SCALE: 1" = 10'



2 SITE 2 PAVING PATTERNING + LAYOUT

SCALE: 1" = 10'

#### HARDSCAPE & AMENITIES LEGEND

##### PAVING.

- P1** **1** **BRICK PAVING**  
4"x8"x2 1/4" SALVAGED AND NEW PAVER LAID IN CUSTOM PATTERN ON BITUMINOUS SETTING BED W/ CONCRETE BASE
- P1** **ALT 1**  
SALVAGED / REVISED BRICK PAVERS
- P1** **ALT 2**  
NEW BRICK PAVERS
- P2** **2** **STONE DUST PAVING**  
OVER COMPACTED AGGREGATE
- P3** **3** **DETECTABLE WARNING PAVERS**  
2' WIDE MIN. TRUNCATED DOME PAVER AREA AT CURB RAMP TRANSITION; CUT PAVERS TO FIT
- P4** **CONCRETE PAVING**  
SEE CIVIL DRAWINGS
- PA** **PLANTING AREA**  
SEE L301R - PLANTING PLAN

##### FURNISHINGS + FEATURES.

- F1** **4** **BACKED BENCH**  
PREFABRICATED, RISER MOUNT  
STYLE A: 8' LENGTH, BACKED
- F1** **4** **BACKLESS BENCH**  
PREFABRICATED, RISER MOUNT  
STYLE B: 6' LENGTH, BACKLESS
- F2** **2** **LITTER RECEPTACLE**  
PREFABRICATED; SURFACE MOUNT
- F3** **3** **BIKE RACK**  
PREFABRICATED; SURFACE MOUNT

##### MATERIALS NOTES:

- REFER TO L103R FOR LAYOUT PLAN, L201R + L202R FOR HARDSCAPE DETAILS, L301R FOR PLANTING PLAN, AND L401R FOR PLANTING DETAILS.
- REFER TO CIVIL DRAWINGS FOR GENERAL NOTES, DEMOLITION PLAN, TREE PROTECTION, EROSION + SEDIMENT CONTROL, GRADING, UTILITIES, AND DRAINAGE.
- CONTRACTOR TO SUBMIT SAMPLES AND PRODUCT INFORMATION FOR ALL PAVING, WALLS, FURNISHINGS FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS WITH STRUCTURAL STAMP FOR LAYOUT AND CONSTRUCTION OF ALL VERTICAL HARDSCAPE ELEMENTS, INCLUDING SITE WALLS, STAIRS, RAILINGS, FENCING, GATES, AND FOOTINGS FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.
- IF PROPOSED SITE ELEMENTS ARE IN CONFLICT WITH EXISTING UTILITIES BASED ON CONTRACTOR'S FINDINGS, CONTRACTOR TO ALERT OWNER AND LANDSCAPE ARCHITECT IN WRITING TO DETERMINE PATH FORWARD/ALTERNATE LOCATION.

		PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.											
LANDSCAPE ARCHITECT: HEIDI THOMAS LICENSE NUMBER: 4064 EXP. DATE: 11/05/2026		DESIGNED: CO_HT DRAWN: CO_PB CHECKED: HT		WARD: 22 SECTION: 060 SECT. APP. BLOCK: 0861 LOT: 005									
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

LANDSCAPE ARCHITECT

ENVIROCOLLAB LLC  
111 E. 26TH STREET, SUITE 1A  
BALTIMORE, MD -21218  
PHONE: 443-956-9278

LANDSCAPE ARCHITECTURE

ELECTRICAL ENGINEER

THOMAS FOULKES LLC  
MECHANICAL ELECTRICAL PLUMBING  
1400 MASON STREET  
BALTIMORE, MD 21217  
410.262.1806

APPLICANT/DEVELOPER

SOUTH BALTIMORE  
GATEWAY PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
(410) 424-7593

CIVIL ENGINEER

CITYSCAPE ENGINEERING, LLC  
3600 CLIPPER MILL RD.,  
SUITE 214  
BALTIMORE, MD 21211  
(410) 601-3290

OWNER

MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

CITY OF BALTIMORE

CONWAY STREET PARK  
RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS

**L102R**

MATERIALS PLAN - ROW

PROPERTY ADDRESS:  
610 W CONWAY STREET  
BALTIMORE, MD 21230

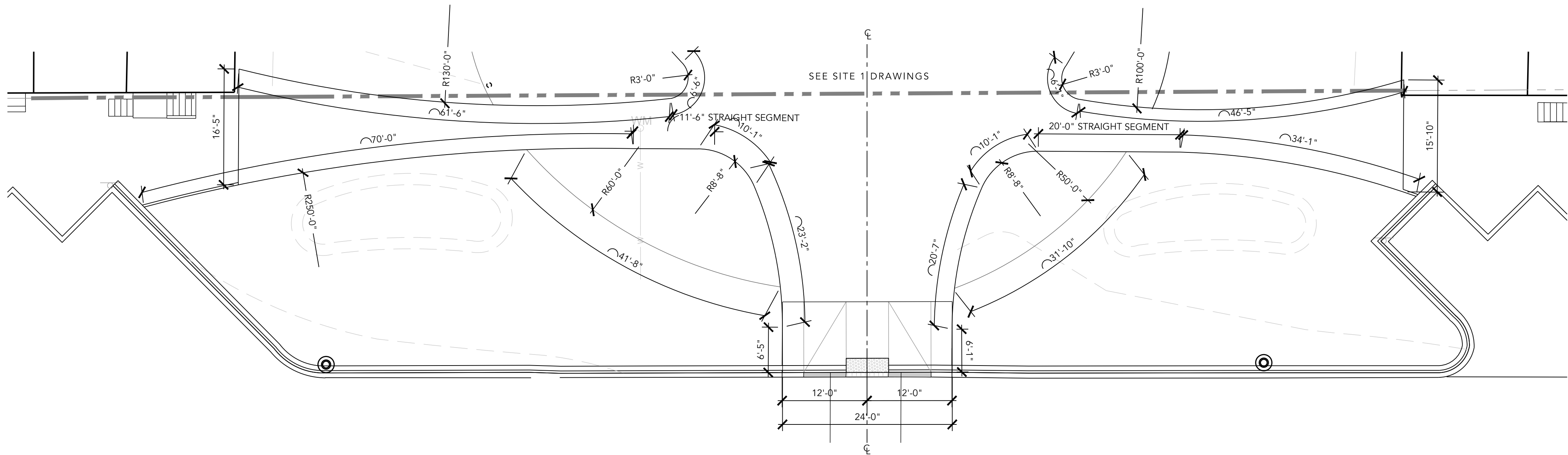
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DATE: 05/01/2025

DWG NAME:

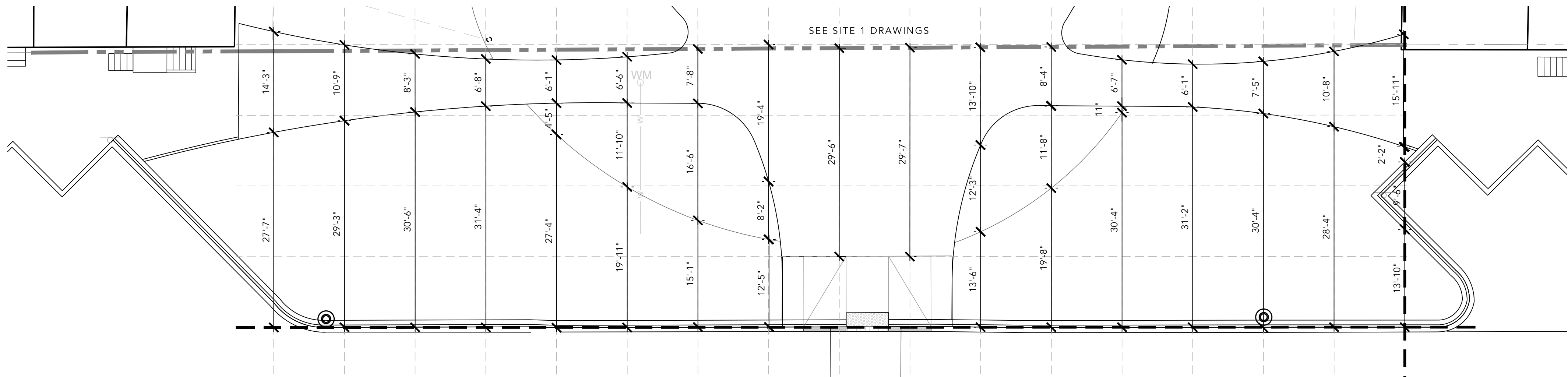
SHEET: 10 OF 18





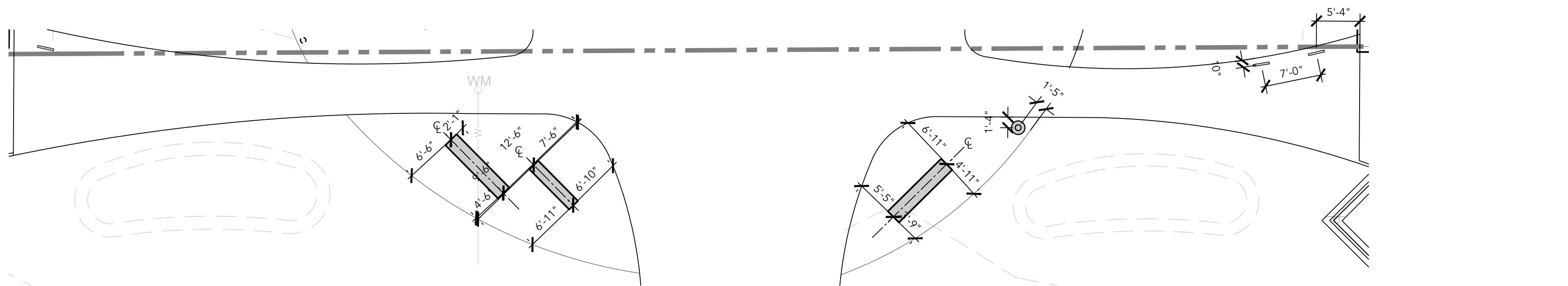
1 SITE 2 LAYOUT PLAN: ARCS + RADII

SCALE: 1" = 10'



2 SITE 2 LAYOUT PLAN: BASELINE + OFFSET

SCALE: 1" = 10'




3 SITE 2 LAYOUT PLAN: AMENITIES

SCALE: 1" = 10'

LAYOUT LEGEND	
	CENTER LINE
	ALIGN
	EXPANSION JOINT (@ CONCRETE PAVING)
	CONTROL JOINT (@ CONCRETE PAVING)
	LOW POINT
	TOP OF WALL
	BOTTOM OF WALL (@ FINISH GRADE)
	TOP OF CURB
	BOTTOM OF CURB
	SLOPE DIRECTION
	SPOT ELEVATION
	POINT OF BEGINNING

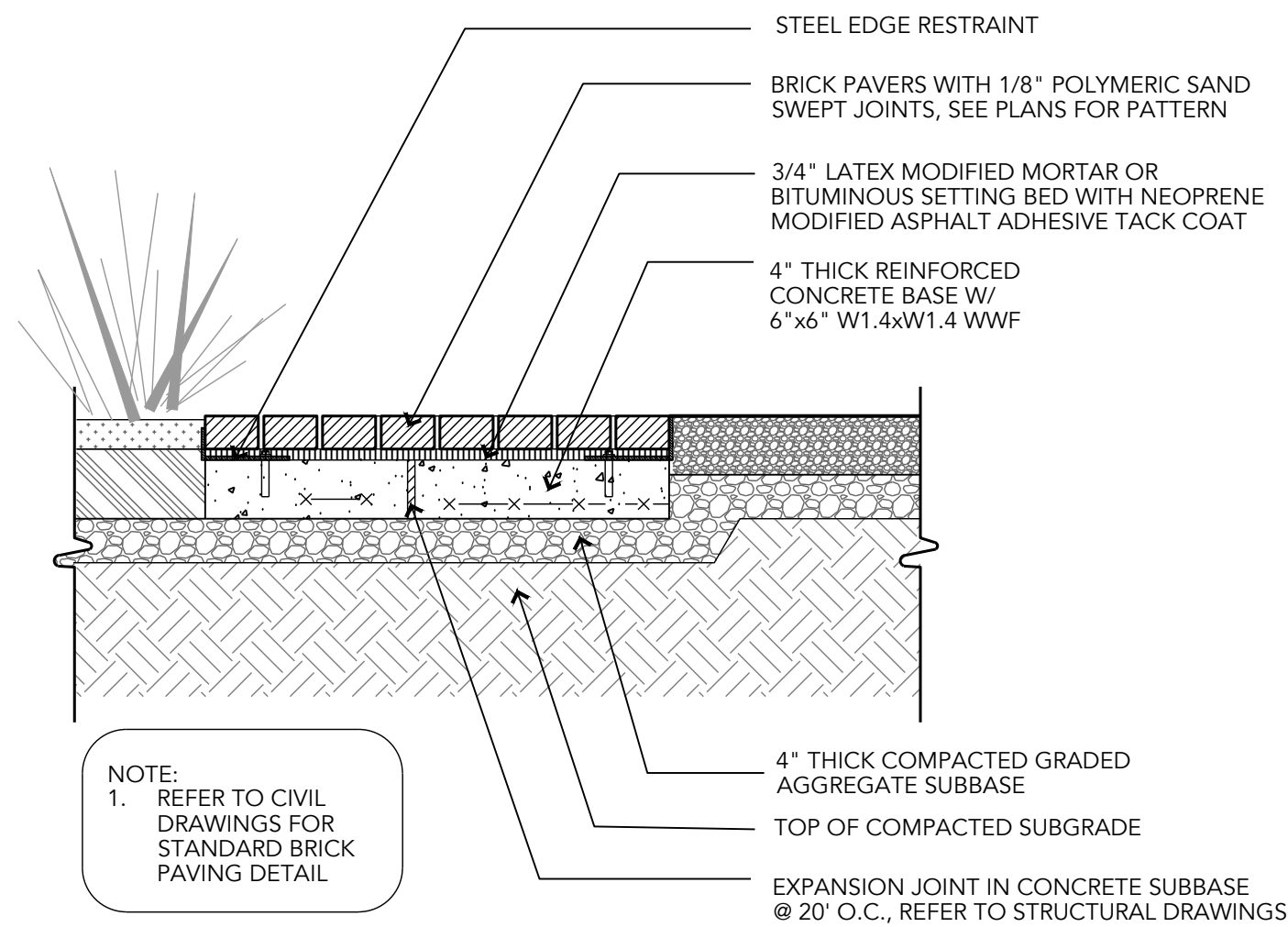
- LAYOUT NOTES.
- REFER TO L102R FOR MATERIALS PLAN, L201R + L202R FOR HARDSCAPE DETAILS, L301R FOR PLANTING PLAN, AND L401R FOR PLANTING DETAILS.
  - REFER TO CIVIL DRAWINGS FOR EXISTING CONDITIONS AND TOPOGRAPHY, FINAL GRADES, AND ALL DRAIN LOCATIONS.
  - PAVER PATTERNS AND PAVING SCORING PATTERNS (CONTROL JOINTS) SHOWN REPRESENT PATTERNS TO BE INSTALLED. ORIENT PATTERNS AS SHOWN.
  - PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, STAIR, OR OTHER VERTICAL ELEMENT EDGES. EXPANSION JOINTS AT UNIT PAVERS ARE LOCATED IN SLAB BELOW.
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT AND CONSTRUCTION OF ALL SITE WALLS, STAIRS, RAILINGS, FENCING, GATES, SCREENS, PANELS ETC. FOR REVIEW BY ARCHITECT AND LANDSCAPE ARCHITECT.
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS TO INDICATE LAYOUT, SIZING, FOUNDATIONS, REINFORCING, AND JOINTING OF SITE ELEMENTS.

		PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.														
		LANDSCAPE ARCHITECT: <u>HEIDI THOMAS</u>					DESIGNED: <u>CO, HT</u> DRAWN: <u>CO, PB</u> CHECKED: <u>HT</u>									
		LICENSE NUMBER: <u>4064</u>										WARD: <u>22</u>				
		EXP. DATE: <u>11/05/2026</u>										SECTION: <u>060</u>		SECT.	APP.	
										BLOCK: <u>0861</u>						
										LOT: <u>005</u>						
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE			
BY																
DATE																

LANDSCAPE ARCHITECT ENVIROCOLLAB LLC 111 E. 26TH STREET, SUITE 1A BALTIMORE, MD ~21218 PHONE: 443-956-9278	ELECTRICAL ENGINEER THOMAS FOULKES LLC 1400 MASON STREET BALTIMORE, MD 21217 410.262.1806	APPLICANT/DEVELOPER SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 (410) 424-7593	CIVIL ENGINEER CITYSCAPE ENGINEERING, LLC 3600 CLIPPER MILL RD., SUITE 214 BALTIMORE, MD 21211 (410) 601-3290	OWNER MAYOR AND CITY COUNCIL 100 N HOLLIDAY STREET BALTIMORE, MD 21202
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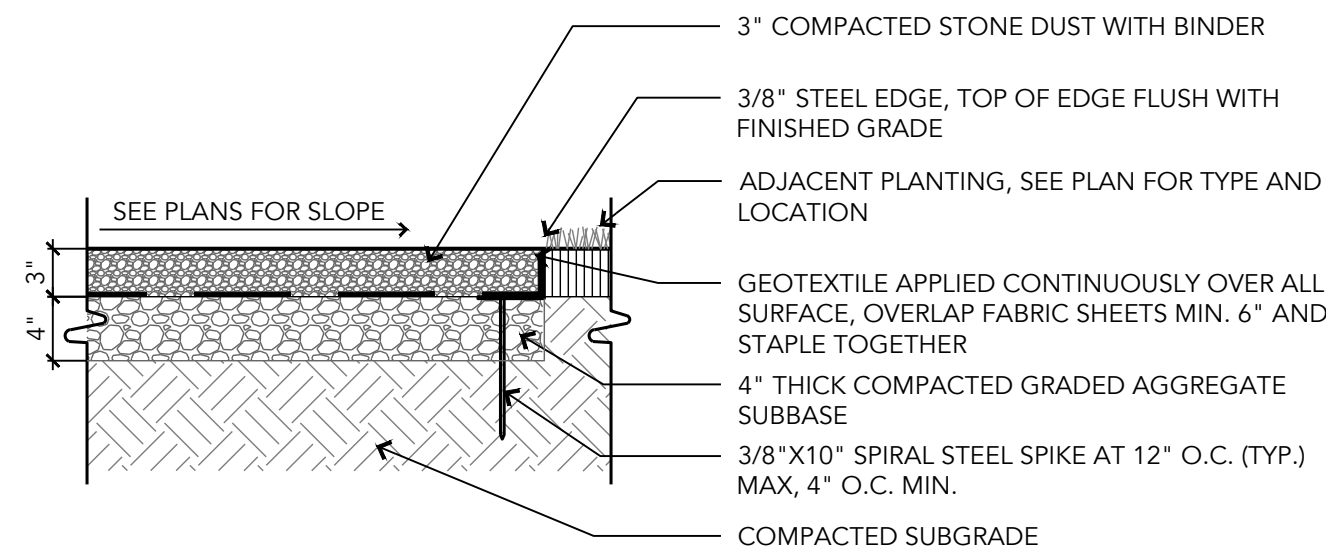
CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE
CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS  L103R  LAYOUT PLAN - ROW PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230	
SCALE: AS SHOWN	DATE: 05/01/2025
DWG NAME:	SHEET: 11 OF 18





1 BRICK PAVING: SALVAGED + NEW (P1) A+B

SCALE: 1"=1'-0"



2 STONE DUST PAVING (P2)

SCALE: 1"=1'-0"



REFERENCE IMAGE (P2)

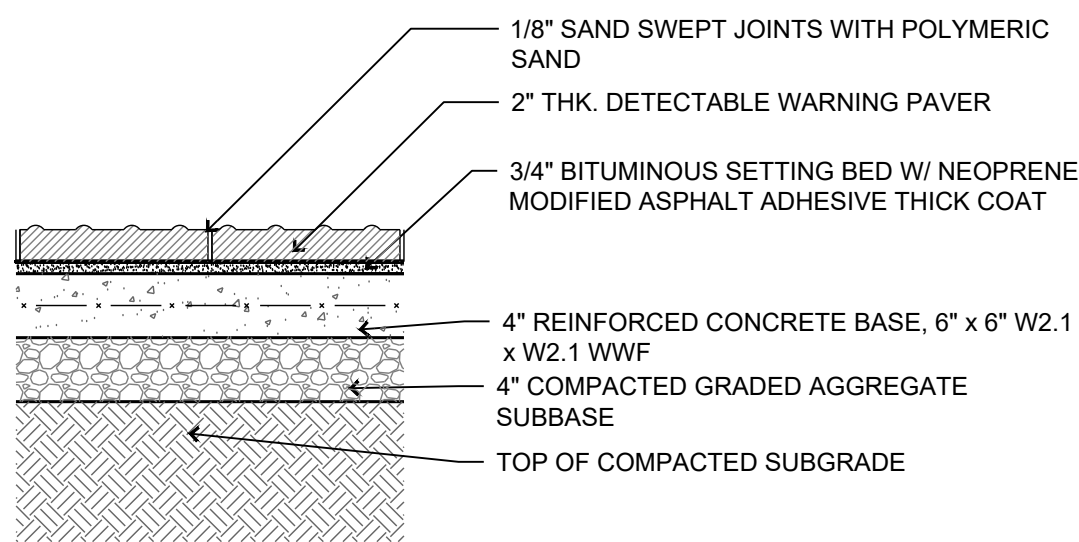
PRODUCT:  
STANCILLS ADA COMPLIANT  
WALKING PATH MIX  
STONE DUST WITH BINDER AND  
STEEL EDGING  
COLOR: ENGLISH GREY

SUPPLIER:  
STANCILLS, INC.,  
PERRYVILLE, MD 21903  
WWW.STANCILLS.COM  
410-939-2224

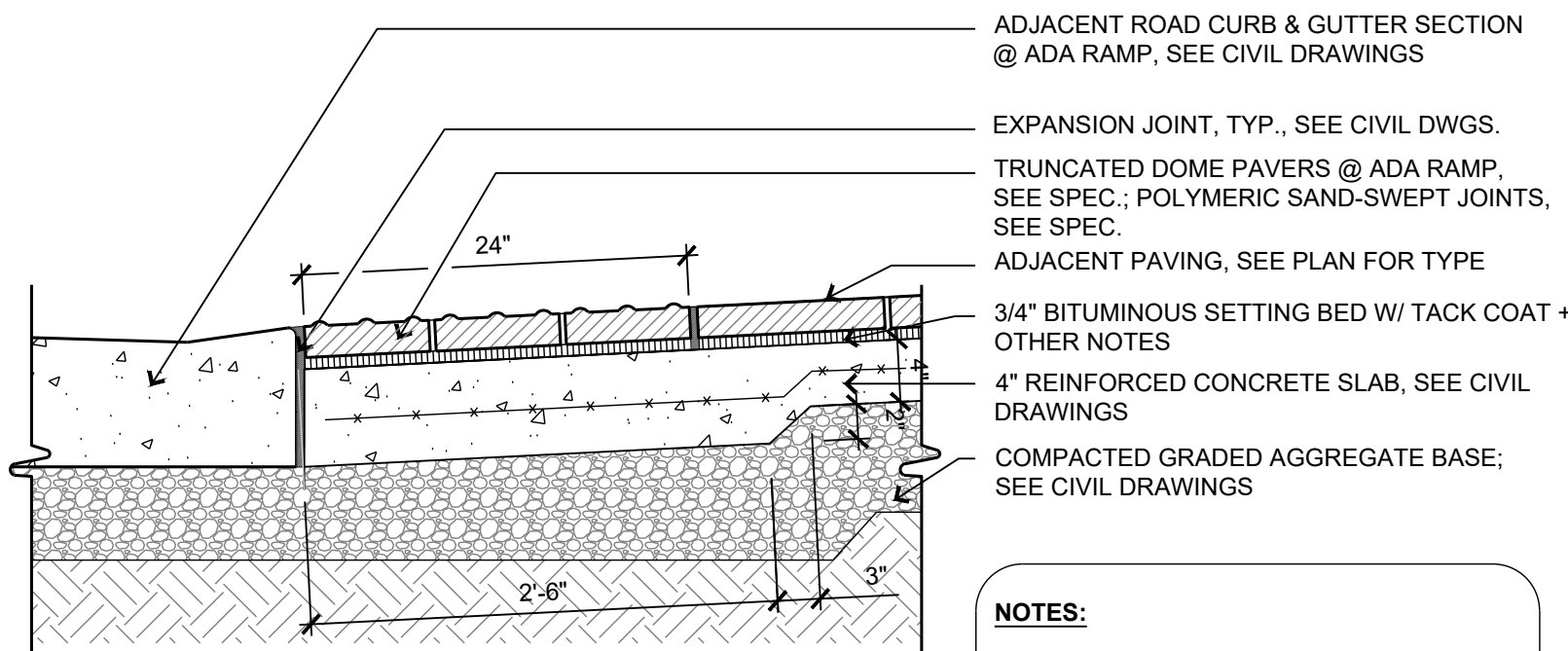
NOTES:  
1. SEE PLAN FOR LOCATION.

GENERAL DETAILS NOTES:

1. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT OF HARDSCAPE AND VERTICAL SITE ELEMENTS, REINFORCING, AND ALL ATTACHMENTS.
2. CONTRACTOR TO SUBMIT SAMPLES AND PRODUCT DATA FOR ALL HARDSCAPE AND FURNISHINGS FINISHES AND PRODUCTS.
3. CONTRACTOR TO PROVIDE MOCKUPS FOR ALL PAVING WORK.
4. ALL ELECTRICAL BY OTHERS.



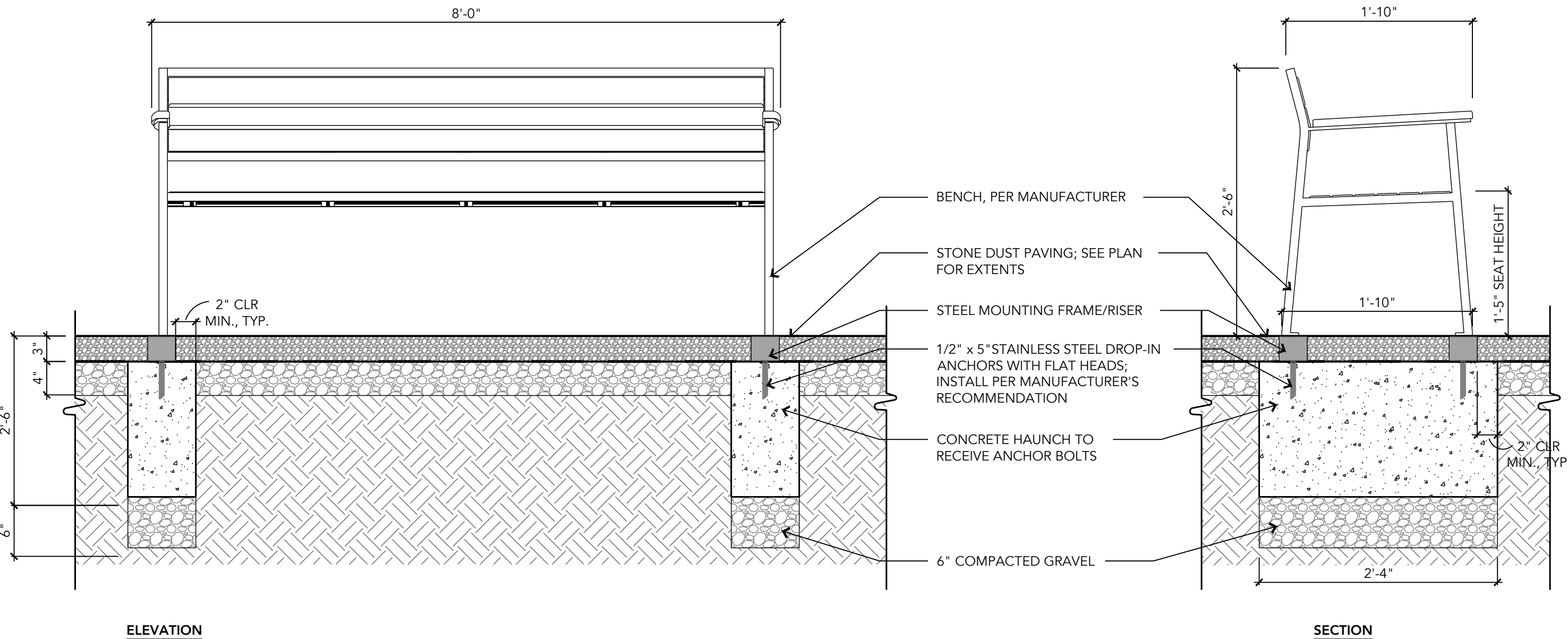
NOTES:  
1. PROVIDE EXPANSION JOINT IN CONCRETE BASE OF THE UNIT PAVERS @ 20' O.C. MAX.  
2. EXPANSION JOINT TO GO THROUGH CONCRETE BASE ONLY.  
2. SEE CIVIL ENGINEER'S SPECIFICATIONS FOR CONCRETE.



NOTES:  
1. SEE CIVIL DRAWINGS FOR ADDITIONAL PEDESTRIAN RAMP DETAILS.

3 DETECTABLE WARNING PAVERS (P3)

SCALE: 1"=1'-0"



MANUFACTURER:  
VICTOR STANLEY  
DUNKIRK, MD  
VICTORSTANLEY.COM  
1-800-368-2573  
sales@victorstanley.com

- PRODUCTS:
- STELL BACKED BENCH, 8' L.  
PRODUCT #: STE-20 WITH ARMRESTS  
QTY: 2
  - STELL BACKLESS BENCH, 6' L.  
PRODUCT #: STE-23NA WITHOUT ARMRESTS  
QTY: 1
- MATERIALS:
- TITANIUM POWDER COATED METAL FRAME, STEEL SLATS

NOTES:  
1. SEE PLAN FOR LOCATIONS.  
2. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS.  
3. PROVIDE MATERIAL SAMPLES FOR LA REVIEW.



PRODUCT REFERENCE IMAGE (F1A)




METAL SLATS

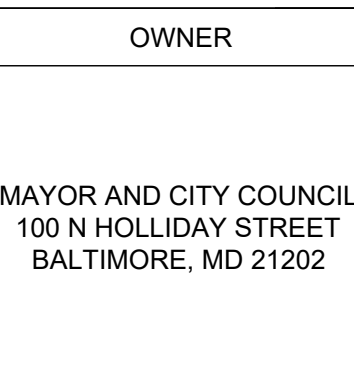
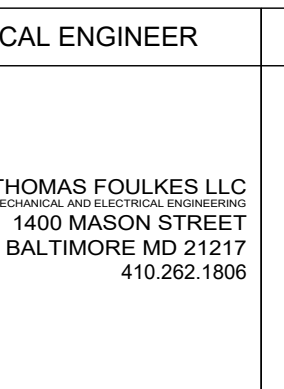
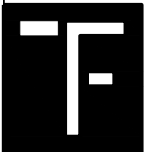


PRODUCT REFERENCE IMAGE (F1B)

4 BACKED BENCH (F1A) + BACKED BENCH (F1B)

SCALE: 1"=1'-0"

		PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.																	
		LANDSCAPE ARCHITECT: <u>HEIDI THOMAS</u> LICENSE NUMBER: <u>4064</u> EXP. DATE: <u>11/05/2026</u>					DESIGNED: <u>CO, HT</u> DRAWN: <u>CO, PB</u> CHECKED: <u>HT</u>					WARD: 22							
												SECTION: 060      SECT.      APP.							
												BLOCK: 0861							
															LOT: 005				
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE						
BY																			
DATE																			

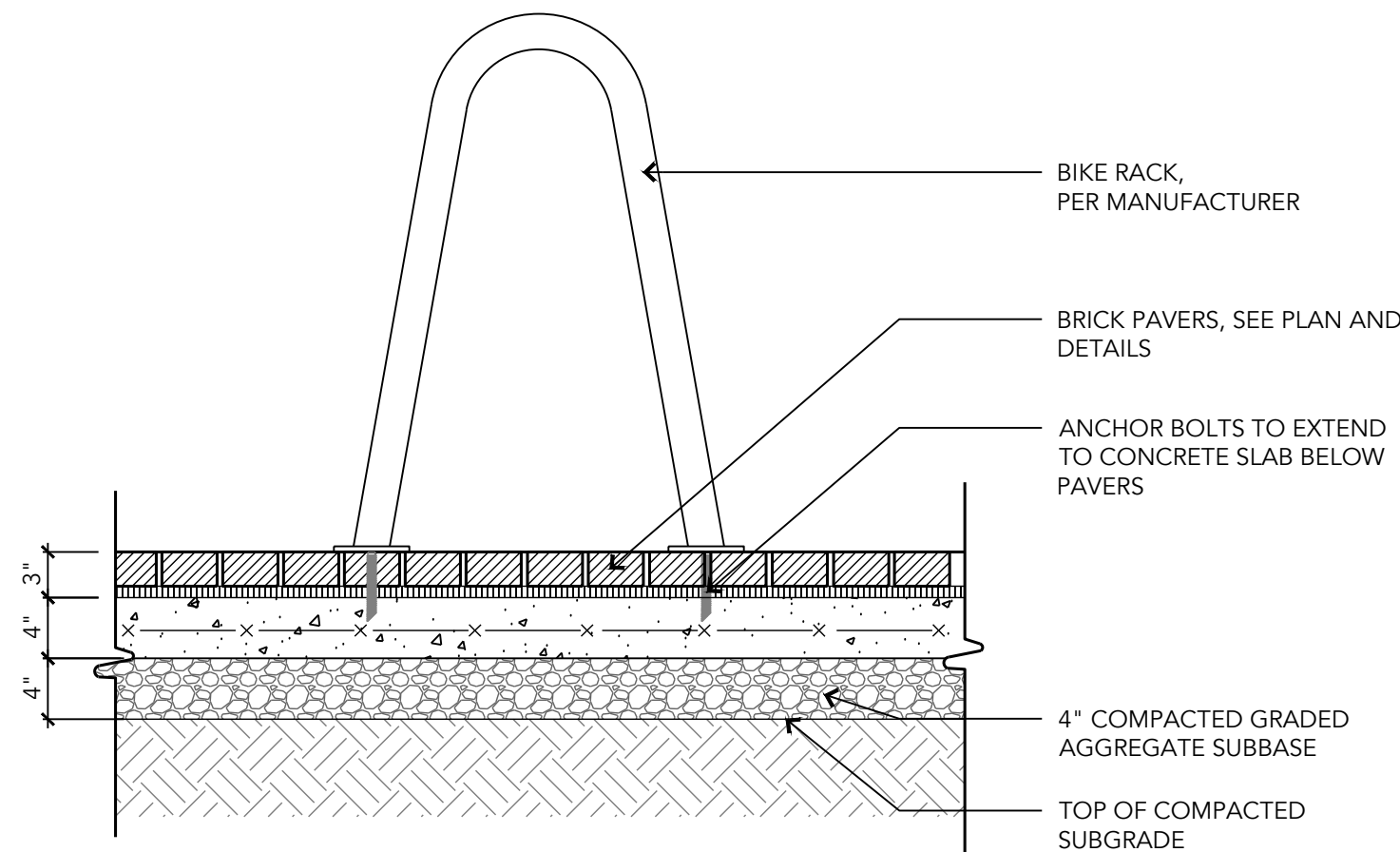


CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

CITY OF BALTIMORE	
CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS	
L201R	
HARDSCAPE DETAILS - ROW PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230	
SCALE: AS SHOWN	DATE: 05/01/2025
DWG NAME:	SHEET: 12 OF 18



- GENERAL DETAILS NOTES:
1. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT OF HARDSCAPE AND VERTICAL SITE ELEMENTS, REINFORCING, AND ALL ATTACHMENTS.
  2. CONTRACTOR TO SUBMIT SAMPLES AND PRODUCT DATA FOR ALL HARDSCAPE AND FURNISHINGS FINISHES AND PRODUCTS.
  3. CONTRACTOR TO PROVIDE MOCKUPS FOR ALL PAVING WORK.
  4. ALL ELECTRICAL BY OTHERS.



**MANUFACTURER:**  
VICTOR STANLEY  
DUNKIRK, MD  
VICTORSTANLEY.COM  
1.800.368.2573  
sales@victorstanley.com

**PRODUCTS:**

- SINGLE LOOP BIKE RACK  
PRODUCT #: BRCA-101 QTY: 3

**MATERIALS:**

- ALUMINUM FRAME, STANDARD  
POWDERCOAT FINISH COLOR: TITANIUM

**NOTES:**

1. SEE PLAN FOR LOCATIONS AND LAYOUT.
2. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATION.
3. CONTRACTOR TO PROVIDE PRODUCT INFORMATION, COLOR SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW.



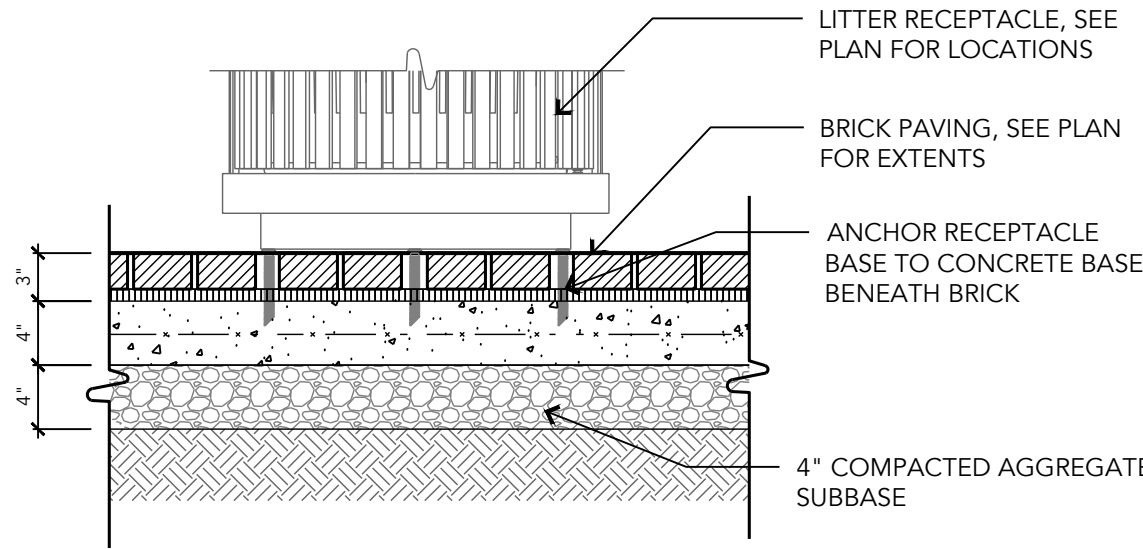
REFERENCE IMAGE (F2)

## 1 BIKE RACK (F2)

SCALE: 1"=1'-0"



REFERENCE IMAGE (F3)



**MANUFACTURER:**  
VICTOR STANLEY  
DUNKIRK, MD  
VICTORSTANLEY.COM  
1.800.368.2573  
sales@victorstanley.com

**PRODUCT:**

- SD-45 LITTER RECEPTACLE WITH SIDE DOOR + DOME LID

**MATERIALS:**

- POWDERCOAT FINISH  
• COLOR: TITANIUM

**NOTES:**

1. SEE PLAN FOR LOCATIONS.
2. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS.
3. CONTRACTOR TO PROVIDE PRODUCT INFORMATION AND COLOR SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW

## 2 LITTER RECEPTACLE (F3)

SCALE: 1"=1'-0"

		PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.									
LANDSCAPE ARCHITECT: <u>HEIDI THOMAS</u>		DESIGNED: <u>CO_HT</u>		WARD: 22							
LICENSE NUMBER: <u>4064</u>		DRAWN: <u>CO_PB</u>		SECTION: 060		SECT.		APP.			
EXP. DATE: <u>11/05/2026</u>		CHECKED: <u>HT</u>		BLOCK: 0861							
				LOT: 005							
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING
BY											GRADE ESTABLISHED
DATE											ADA COMPLIANCE



APPLICANT/DEVELOPER  
SOUTH BALTIMORE GATEWAY PARTNERSHIP  
101 W. DICKMAN STREET  
STE 1000  
BALTIMORE, MD 21230  
(410) 424-7593



OWNER  
MAYOR AND CITY COUNCIL  
100 N HOLLIDAY STREET  
BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

CITY OF BALTIMORE	
CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS	
L202R	
HARDSCAPE DETAILS - ROW	
PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230	
SCALE: AS SHOWN	DATE: 05/01/2025
DWG NAME:	SHEET: 13 OF 18



HARDSCAPE MATERIALS SPECIFICATIONS

SECTION 32 1400	
UNIT PAVERS	
PART 1 - GENERAL	
1.01 RELATED DOCUMENTS	
A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.	
1.02 SUMMARY	
A. Section Includes:	
1. Clay brick unit pavers set in latex-modified mortar OR bituminous setting bed.	
2. Steel edge restraints.	
B. Related Sections:	
1. Division 32 Section "Concrete Paving" for concrete base under unit pavers.	
1.03 PRECONSTRUCTION TESTING	
A. Preconstruction Adhesion and Compatibility Testing: Submit to latex-additive manufacturer, for testing as indicated below, samples of paving materials that will contact or affect mortar and grout that contain latex additives.	
1. Use manufacturer's standard test methods to determine whether mortar and grout materials will obtain optimum adhesion with, and will be non-staining to, installed pavers and other materials constituting paver installation.	
1.04 SUBMITTALS	
A. Product Data: For materials other than water and aggregates.	
B. Product Data: For the following:	
1. Pavers.	
2. Edge restraints.	
C. Adhesion and Compatibility Test Reports: From latex-additive manufacturer for mortar and grout containing latex additives.	
D. Samples for Initial Selection: For the following:	
1. Each type of unit paver indicated.	
2. Joint materials involving color selection.	
3. Exposed edge restraints involving color selection.	
E. Samples for Verification:	
1. Full-size units of each type of unit paver indicated.	
2. Joint materials.	
3. Exposed edge restraints.	
1.05 QUALITY ASSURANCE	
A. Source Limitations: Obtain each type of unit paver, joint material, and setting material from single source with resources to provide materials and products of consistent quality in appearance and physical properties.	
B. Mockups: Build mockups to verify selections made under Sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.	
1. Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.	
C. Pre-installation Conference: Conduct conference at project site.	
1.06 DELIVERY, STORAGE, AND HANDLING	
A. Store pavers on elevated platforms in a dry location. If units are not stored in an enclosed location, cover tops and sides of stacks with waterproof sheeting, securely tied.	
B. Store cementitious materials on elevated platforms, under cover, and in a dry location. Do not use cementitious materials that have become damp.	
C. Store aggregates where grading and other required characteristics can be maintained and contamination avoided.	
D. Store liquids in tightly closed containers protected from freezing.	
1.07 PROJECT CONDITIONS	
A. Cold-Weather Protection: Do not use frozen materials or materials mixed or coated with ice or frost. Do not build on frozen sub-grade or setting beds. Remove and replace unit paver work damaged by frost or freezing.	
B. Weather Limitations for Bituminous Setting Bed:	
1. Install bituminous setting bed only when ambient temperature is above 40 deg F (4 deg C) and when base is dry.	
2. Apply asphalt adhesive/tack coat only when ambient temperature is above 50 deg F (10 deg C) and when temperature has not been below 35 deg F (2 deg C) for 12 hours immediately before application. Do not apply when setting bed is wet or contains excess moisture.	
C. Weather Limitations for Mortar and Grout:	
1. Cold-Weather Requirements: Comply with cold-weather construction requirements contained in ACI 530.1/ASCE 6/TMS 602.	
2. Hot-Weather Requirements: Comply with hot-weather construction requirements contained in ACI 530.1/ASCE 6/TMS 602. Provide artificial shade and windbreaks and use cooled materials as required. Do not apply mortar to substrates with temperatures of 100 deg F (38 deg C) and higher.	
a. When ambient temperature exceeds 100 deg F (38 deg C), or when wind velocity exceeds 8 mph (13 km/h) and ambient temperature exceeds 90 deg F (32 deg C), set pavers within 1 minute of spreading setting-bed mortar.	
PART 2 – PRODUCTS	
1. CLAY BRICK PAVER	
A. Clay Brick Pavers (P2)— Wire cut, square edge (both sides) clay paver complying with ASTM C902, Class SX, Type 1, Application PX and C67 for Freeze and Thaw. Paver shall have 8,000 psi minimum compressive strength and below 8% cold water absorption.	
a. Manufacturer: Subject to compliance with requirements, provide products by the following:	
i. Pine Hall Brick, (800) 952-7425, <a href="https://pinehallbrick.com/">https://pinehallbrick.com/</a> .	
b. Product: Pathway FR-4x8	
c. Size: standard 4" x 8"size having dimensions of 2 1/4" x 4" x 8."	
d. Color: Pathway Full Range	
e. Pattern: See plans and details.	
2. TRUNCATED DOME ADA PAVER	
A. Clay Brick Pavers (P3)— Wire cut, square edge (both sides) clay paver complying with ASTM C902, Class SX, Type 1, Application PX and C67 for Freeze and Thaw. Paver shall comply with R304.	
a. Manufacturer: Subject to compliance with requirements, provide products by the following:	
i. Pine Hall Brick, (800) 952-7425, <a href="https://pinehallbrick.com/">https://pinehallbrick.com/</a> .	
b. Product: Truncated Dome ADA Paver	

c. Size: standard 4" x 8"size having dimensions of 2 1/4" x 4" x 8."	
d. Color: Red	
e. Pattern: See plans and details.	
3. EDGE RESTRAINTS	
A. Steel Edge Restraints: Manufacturer's standard L-shaped, 3/16-inch-thick by 2-1/4-inch-high steel edging with loops pressed from face to receive anchors at 12 inches o.c., with stainless steel anchors to bolt to concrete base.	
1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:	
a. Brickstop Corporation.	
b. Curv-Rite, Inc.	
c. Permaloc Corporation.	
d. Sure-loc Edging Corporation.	
4. ACCESSORIES	
A. Cork Joint Filler: Preformed strips complying with ASTM D 1752, Type II.	
B. Compressible Foam Filler: Preformed strips complying with ASTM D 1056, Grade 2A1.	
C. Sand for Joints: Polymeric Paver Sand complying with ANSI A118.7.	
i. Manufacturer: Subject to compliance with requirements, provide polymer-modified joint sand by one of the following: Joint-Lock Polymeric Paver Sand or approved equal.	
ii. Provide sand of color needed to produce required joint color.	
5. MORTAR SETTING BED MATERIALS	
A. Latex-modified mortar, as approved by Baltimore City Department of Transportation.	
B. Basis of Design: MVIS Thin Brick Mortar is a multi-use, polymer fortified adhesive mortar or approved equal.	
6. BITUMINOUS SETTING BED MATERIALS	
A. Primer for Base: ASTM D 2028, cutback asphalt, grade as recommended by unit paver manufacturer.	
B. Fine Aggregate for Setting Bed: ASTM D 1073, No. 2 or No. 3.	
C. Asphalt Cement: ASTM D 3381, Viscosity Grade AC-10 or Grade AC-20.	
D. Neoprene-Modified Asphalt Adhesive: Paving manufacturer's standard adhesive consisting of oxidized asphalt combined with 2 percent neoprene and 10 percent long-fibered mineral fibers containing no asbestos.	
E. Water: Potable.	
7. BITUMINOUS SETTING BED MIX	
A. Mix bituminous setting-bed materials at an asphalt plant in approximate proportion, by weight, of 7 percent asphalt cement to 93 percent fine aggregate unless otherwise indicated. Heat mixture to 300 deg F (149 deg C).	

PART 3 - EXECUTION

3.01 EXAMINATION	
A. Examine areas indicated to receive paving, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance.	
B. Where pavers are to be installed over waterproofing, examine waterproofing installation, with waterproofing Installer present, for protection from paving operations, including areas where waterproofing system is turned up or flashed against vertical surfaces.	
C. Proceed with installation only after unsatisfactory conditions have been corrected and waterproofing protection is in place.	
3.02 PREPARATION	
A. Remove substances from concrete substrates that could impair asphalt bond, including curing and sealing compounds, form oil, and laitance.	
B. Sweep concrete substrates to remove dirt, dust, debris, and loose particles.	
C. Proof-roll prepared subgrade according to requirements in Division 31 Section "Earth Moving" to identify soft pockets and areas of excess yielding. Proceed with unit paver installation only after deficient subgrades have been corrected and are ready to receive subbase and base course for unit pavers.	
3.03 INSTALLATION, GENERAL	
A. Do not use unit pavers with chips, cracks, voids, discolorations, or other defects that might be visible or cause staining in finished work.	
B. Mix pavers from several pallets or cubes, as they are placed, to produce uniform blend of colors and textures.	
C. Cut unit pavers with motor-driven masonry saw equipment to provide clean, sharp, unchipped edges. Cut units to provide pattern indicated and to fit adjoining work neatly. Use full units without cutting where possible. Hammer cutting is not acceptable.	
D. Handle protective-coated brick pavers to prevent coated surfaces from contacting backs or edges of other units. If, despite these precautions, coating does contact bonding surfaces of brick, remove coating from bonding surfaces before setting brick.	
E. Joint Pattern: As indicated on drawings.	
F. Pavers over Waterproofing: Exercise care in placing pavers and setting materials over waterproofing so protection materials are not displaced and waterproofing is not punctured or otherwise damaged. Carefully replace protection materials that become displaced and arrange for repair of damaged waterproofing before covering with paving.	
1. Provide joint filler at waterproofing that is turned up on vertical surfaces unless otherwise indicated.	
G. Tolerances: Do not exceed 1/32-inch unit-to-unit offset from flush (lippage) or 1/8 inch in 10 feet from level, or indicated slope, for finished surface of paving.	
H. Expansion and Control Joints: Provide cork joint filler at locations and of widths indicated. Install joint filler before setting pavers. Make top of joint filler flush with top of pavers.	
I. Provide edge restraints as indicated. Install edge restraints before placing unit pavers.	
1. Install edge restraints to comply with manufacturer's written instructions. Install stakes at intervals required to hold edge restraints in place during and after unit paver installation.	
2. For metal edge restraints with top edge exposed, drive stakes at least 1 inch (25 mm) below top edge.	
3.04 BITUMINOUS SETTING BED APPLICATIONS	
A. Apply primer to concrete slab or binder course immediately before placing setting bed.	


B. Prepare for setting-bed placement by locating 3/4-inch- (19-mm-) deep control bars approximately 11 feet (3.3 m) apart and parallel to one another, to serve as guides for striking board. Adjust bars to subgrades required for accurate setting of paving units to finished grades indicated.	
C. Place bituminous setting bed where indicated, in panels, by spreading bituminous material between control bars. Spread mix at a minimum temperature of 250 deg F (121 deg C). Strike setting bed smooth, firm, even, and not less than 3/4 inch (19 mm) thick. Add fresh bituminous material to low, porous spots after each pass of striking board. After each panel is completed, advance first control bar to next position in readiness for striking adjacent panels. Carefully fill depressions that remain after removing depth-control bars.	
1. Roll setting bed with power roller to a nominal depth of 3/4 inch (19 mm). Adjust thickness as necessary to allow accurate setting of unit pavers to finished grades indicated. Complete rolling before mix temperature cools to 185 deg F (85 deg C).	
D. Apply neoprene-modified asphalt adhesive to cold setting bed by squeezeegeeing or troweling to a uniform thickness of 1/16 inch (1.6 mm). Proceed with setting of paving units only after adhesive is tacky and surface is dry to touch.	
E. Place pavers carefully by hand in straight courses, maintaining accurate alignment and uniform top surface. Protect newly laid pavers with plywood panels on which workers can stand. Advance protective panels as work progresses, but maintain protection in areas subject to continued movement of materials and equipment to avoid creating depressions or disrupting alignment of pavers. If additional leveling of paving is required, and before treating joints, roll paving with power roller after sufficient heat has built up in the surface from several days of hot weather.	
F. Joint Treatment: Place unit pavers with hand-tight joints. Fill joints by sweeping polymeric sand over paved surface until joints are filled. Remove excess polymeric sand after joints are filled.	
3.05 REPAIRING AND CLEANING	
A. Remove and replace unit pavers that are loose, chipped, broken, stained, or otherwise damaged or that do not match adjoining units. Provide new units to match adjoining units and install in same manner as original units, with same joint treatment and with no evidence of replacement.	
B. Cleaning: Remove excess sand from exposed paver surfaces; wash and scrub clean.	
1. Remove temporary protective coating as recommended by coating manufacturer and as acceptable to paver and grout manufacturers.	
2. Do not allow protective coating to enter floor drains. Trap, collect, and remove coating material.	


END OF SECTION

SECTION 329310  
DECORATIVE STONE

PART 1 - GENERAL	
1.1 SUMMARY	
A. Section Includes:	
1. Stone dust paving.	
2. Steel edging.	
3. Separation fabrics.	
1.2 COORDINATION	
A. Coordination with Lawn and Plants: Install decorative stone before planting and turf areas unless otherwise indicated.	
B. Pre-Installation Meeting: Convene a pre-installation site meeting at least 7 days prior to commencing work at site. Require attendance of parties directly affecting work of this section, including Landscape Architect. Review work activities and design goals. Anticipate sending Landscape Architect progress photos of initial installations for approval and/or other recommendations.	
1.3 ACTION SUBMITTALS	
A. Product Data: For each type of product.	
1. Source: Include quarry source of tumbled gravel, river jack stone, and boulders.	
2. Photographs: Include color photographs in digital format of each required stone as it will be furnished to Project. Include a tape measure or other measuring device in each photograph.	
1.4 QUALITY ASSURANCE	
A. Source Limitations: Obtain each type of stone from one source with resources to provide materials and products of consistent quality in appearance and physical properties.	
PART 2 - PRODUCTS	
2.1 STONE DUST PAVING	
A. Materials: Natural stone dust on graded aggregate base.	
1. Manufacturer: Subject to compliance with requirements, provide products by the following:	
a. Stancills, Inc. (410) 939-2224, <a href="https://stancills.com/">https://stancills.com/</a> .	
2. Product: ADA Compliant Walking Path Mix with Organic-lock binder	
3. Color: English grey	
2.2 EDGE RESTRAINT	
A. Edging: 3/8" Steel landscape edging. Black enamel-based paint coat. 10" minimum length spiral steel stakes, spacing 12" O.C. average/48" O.C. maximum intervals.	
2.7 SEPARATION FABRIC	
A. Nonwoven geotextile manufactured for separation applications and made of polypropylene, polyolefin, or polyester fibers or combination of them.	
PART 3 - EXECUTION	
3.1 EXAMINATION	
A. Proceed with installation only after unsatisfactory conditions have been corrected.	
3.2 CLEANING AND PROTECTION	
A. Remove surplus stone and waste material legally dispose of them off Owner's property.	
B. After installation and before Substantial Completion, remove dirt and debris from all exposed stone.	

END OF SECTION 329310

		PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		LANDSCAPE ARCHITECT: <u>HEIDI THOMAS</u> LICENSE NUMBER: <u>4064</u> EXP. DATE: <u>11/05/2026</u>		DESIGNED: <u>CO_HT</u> DRAWN: <u>CO_PB</u> CHECKED: <u>HT</u>		WARD: 22 SECTION: 060 BLOCK: 0861 LOT: 005		SECT. APP.   		LIGHTING		TRAFFIC ENGINEERING		SIGNAL ENGINEERING		STRUCTURAL		CONDUIT		HIGHWAY ENGINEERING		DRAINAGE		EROSION AND SEDIMENT CONTROL		WASTE WATER ENGINEERING		WATER ENGINEERING		GRADE ESTABLISHED		ADA COMPLIANCE		BY		DATE	
BALTIMORE CITY REVIEW		R/W RELEASE																																					

LANDSCAPE ARCHITECT ENVIROCOLLAB LLC 111 E. 26TH STREET, SUITE 1A BALTIMORE, MD -21218 PHONE: 443-956-9278	ELECTRICAL ENGINEER 	APPLICANT/DEVELOPER SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 (410) 424-7593	CIVIL ENGINEER CITYSCAPE ENGINEERING, LLC 3600 CLIPPER MILL RD., SUITE 214 BALTIMORE, MD 21211 (410) 601-3290	OWNER MAYOR AND CITY COUNCIL 100 N HOLLIDAY STREET BALTIMORE, MD 21202
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CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION		CITY OF BALTIMORE	
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION		CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS	
DIRECTOR, DEPARTMENT OF TRANSPORTATION		DATE	
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS		L203R	
APPROVAL RECOMMENDED		HARDSCAPE NOTES - ROW	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION		PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230	
DATE			
APPROVED			
DIRECTOR, DEPARTMENT OF PUBLIC WORKS		DATE	
DWG NAME:		SCALE: AS SHOWN	
		DATE: 05/01/2025	
		SHEET: 14 OF 18	



QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
<b>CANOPY TREES.</b>						
1	NS	<i>Nyssa sylvatica</i>	Black Gum	2.5" Cal.	B&B/Cont.	Single-stem, full canopy
2	OA	<i>Oxydendrum arboreum</i>	Sourwood	2.5" Cal.	B&B/Cont.	Single-stem, full canopy
<b>ORNAMENTAL TREES.</b>						
1	CF	<i>Cornus florida</i>	Flowering Dogwood	8' Ht.	B&B/Cont.	Single-stem, full canopy
1	MV	<i>Magnolia virginiana</i>	Sweetbay Magnolia	8' Ht.	B&B/Cont.	Single-stem, full canopy
<b>SHRUBS.</b>						
6	CA	<i>Clethra alnifolia</i> 'Hummingbird'	Dwarf Summersweet	#3	Cont.	24" ht., 3' O.C.
3	HA	<i>Hydrangea arborescens</i> 'Lime Rickey'	Lime Rickey' Smooth Hydrangea	#3	Cont.	48" O.C.
12	IV	<i>Itea virginica</i> 'Sprich'	Little Henry Sweetpire	#3	Cont.	24" ht., 3' O.C.
2	LB	<i>Lindera benzoin</i>	Spicebush	#10	Cont.	4-5' ht.
86	XS	<i>Xanthorhiza simplicissima</i>	Yellowroot	#3	Cont.	24" O.C.
<b>SEDGE PLUG MIX + SPRING EPHEMERALS.</b>						
580	CCH	<i>Carex cherokeensis</i>	Cherokee sedge	LP	Plug	12" O.C.
736	CPE	<i>Carex pensylvanica</i>	Pennsylvania Sedge	LP	Plug	12" O.C.
580	CPS	<i>Carex pensylvanica</i> 'Straw Hat'	Straw Hat Pennsylvania Sedge	LP	Plug	12" O.C.
580	CWO	<i>Carex woodii</i>	Wood's Sedge	LP	Plug	12" O.C.
124	CSC	<i>Camassia scilloides</i>	Wild Hyacinth	bulbs	topsize	15" O.C.
124	MVI	<i>Mertensia virginica</i>	Virginia Bluebells	bulbs	topsize	15" O.C.
<b>ORNAMENTAL GRASSES.</b>						
22	CLA	<i>Chasmanthium latifolium</i>	Northern Sea-Oats	#1	Cont.	24" O.C.
24	SHE	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#1	Cont.	18" O.C.
<b>PERENNIALS.</b>						
56	AHU	<i>Amsonia hubrichtii</i>	Threadleaf Bluestar	#1	Cont.	18" O.C.
70	ACA	<i>Asarum canadense</i>	Canada Wild Ginger	#1	Cont.	15" O.C.
36	ESF	<i>Echinacea</i> x 'Santa Fe'	Santa Fe' Coneflower	#1	Cont.	18" O.C.
16	CVI	<i>Chrysogonum virginianum</i>	Green and Gold	#1	Cont.	15" O.C.
66	DPU	<i>Dennstaedtia punctilobula</i>	Eastern Hayscented Fern	#1	Cont.	18" O.C.
24	DER	<i>Dryopteris erythrosora</i> 'Brilliance'	Autumn Brilliance Fern	#1	Cont.	18" O.C.

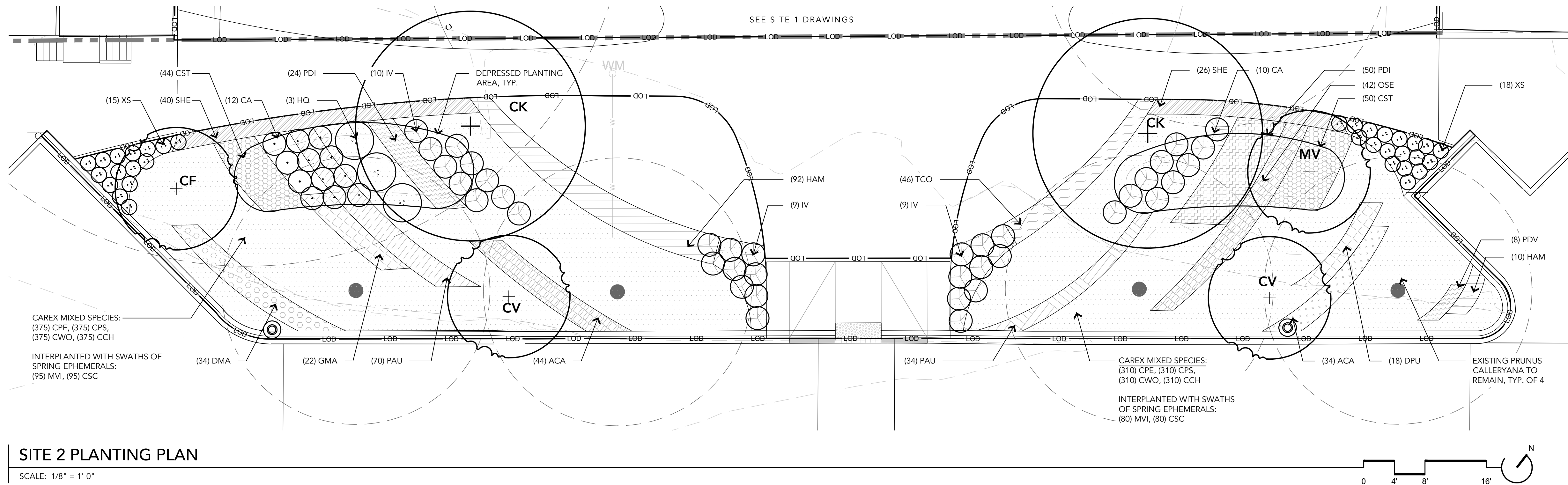
EXISTING TREE TO REMAIN

PROPOSED CANOPY TREE

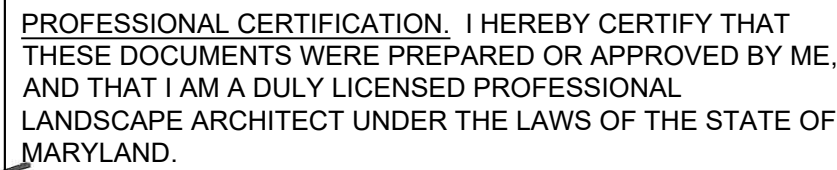
PROPOSED UNDERSTORY TREE

PROPOSED SHRUBS

PROPOSED GROUNDCOVER, PERENNIAL, AND ORNAMENTAL GRASS PLANTINGS; PATTERNS VARY



## 1



DESIGNED: CO, HT  
DRAWN: CO, PB  
CHECKED: HT

WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE



1



CITYSCAPE  
ENGINEERING, LLC

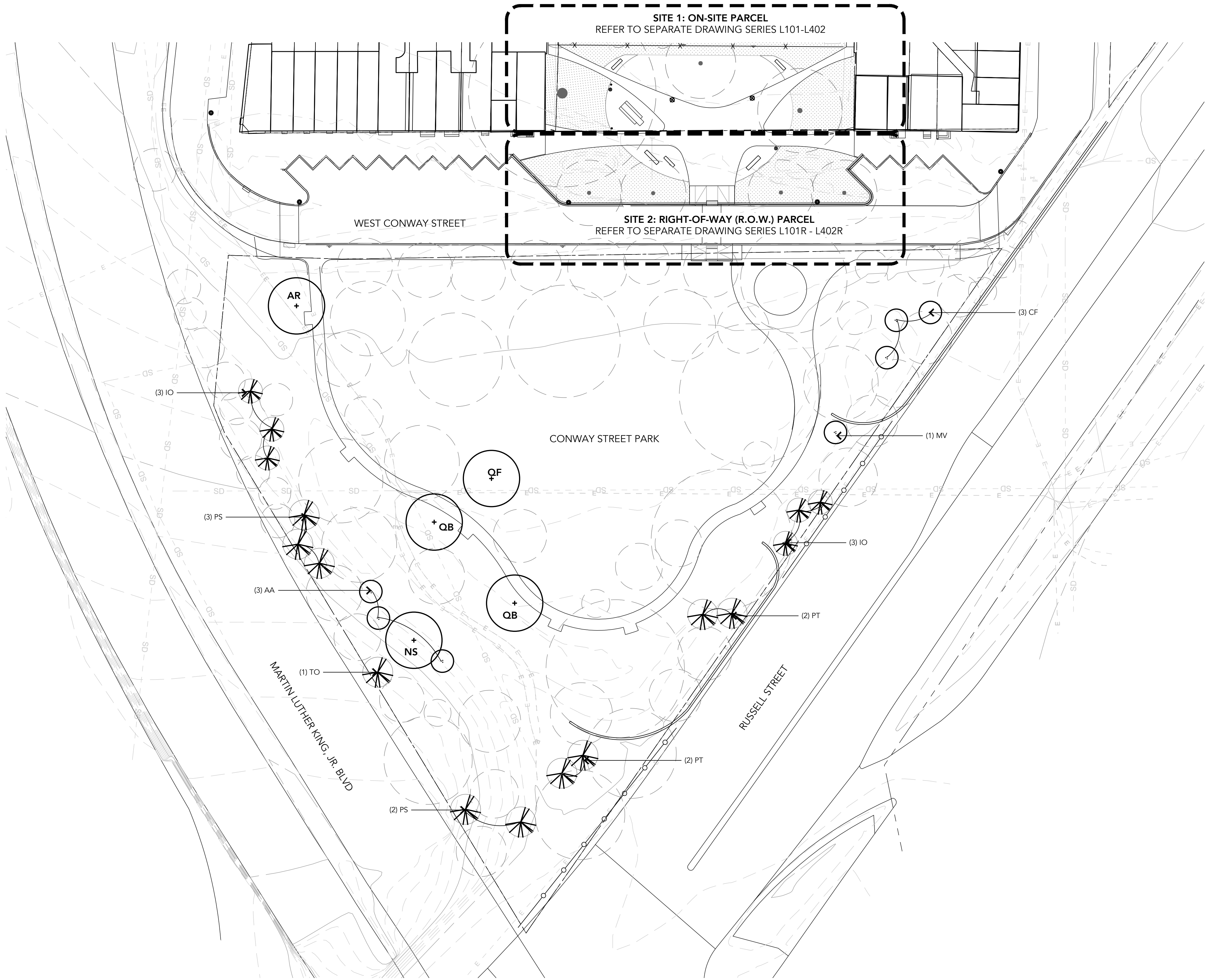
BALTIMORE, MD 21202

DIRECTOR, DEPARTMENT OF PUBLIC WORKS DATE

DWG NAME:

SHEET: 15 OF 18





PLANTING LEGEND:

- EXISTING TREE TO REMAIN, LOCATION APPROXIMATE
- PROPOSED CANOPY TREE
- PROPOSED UNDERSTORY TREE
- PROPOSED EVERGREEN TREE

PROJECT MITIGATION CALCULATIONS

72 Total Caliper Inch Tree Removals in ROW/Required Mitigation (in inches)			
total inches	proposed plant type	quantity	caliper inches per new tree
10	shade trees in ROW	4	2.5
7.5	shade trees in north plaza	3	2.5
15	shade trees in south park	5	3
3	ornamental trees in ROW	2	1.5
3	ornamental trees in north plaza	2	1.5
10.5	ornamental trees in south park	7	1.5
24	evergreen trees in south park	16	1.5

73 Total Mitigation Provided (in inches)

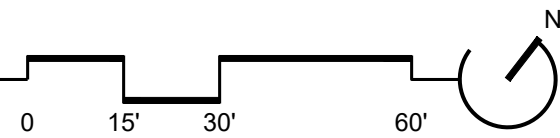
\*highlighted rows above are proposed to be planted in the Conway Street Park, south of the project site. See L301 and L301-R for planting plans for sites 1 and 2.

PLANTING SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
CANOPY TREES.						
1	AR	<i>Acer rubrum</i>	Red Maple	3" Cal.	B&B/Cont.	Single-stem, full canopy
1	NS	<i>Nyssa sylvatica</i>	Black Gum	3" Cal.	B&B/Cont.	Single-stem, full canopy
1	QF	<i>Quercus falcata</i>	Southern Red Oak	3" Cal.	B&B/Cont.	Single-stem, full canopy
2	QB	<i>Quercus bicolor</i>	Swamp White Oak	3" Cal.	B&B/Cont.	Single-stem, full canopy
ORNAMENTAL TREES.						
3	AA	<i>Amelanchier arborea</i>	Downy Serviceberry	1.5" Cal.	B&B/Cont.	Multi-stem, 3-5 canes
3	CF	<i>Cornus florida</i>	Flowering Dogwood	1.5" Cal.	B&B/Cont.	Multi-stem, 3-5 canes
1	MV	<i>Magnolia virginiana</i>	Sweetbay Magnolia	1.5" Cal.	B&B/Cont.	Multi-stem, 3-5 canes
EVERGREEN TREES.						
6	IO	<i>Ilex opaca</i>	American Holly	1.5" Cal.	B&B/Cont.	Single-stem, full to base
5	PS	<i>Pinus strobus</i>	Eastern White Pine	1.5" Cal.	B&B/Cont.	Single-stem, full to base
4	PT	<i>Pinus taeda</i>	Loblolly Pine	1.5" Cal.	B&B/Cont.	Single-stem, full to base
1	TO	<i>Thuja occidentalis</i>	Northern White Cedar	1.5" Cal.	B&B/Cont.	Single-stem, full to base

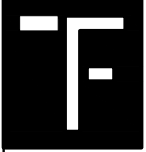
1 TREE MITIGATION OFF-SITE PLANTING PLAN

SCALE: 1"=30'



		PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		LANDSCAPE ARCHITECT: HEIDI THOMAS LICENSE NUMBER: 4064 EXP. DATE: 11/05/2026		DESIGNED: CO_HT DRAWN: CO_PB CHECKED: HT		WARD: 22 SECTION: 060 SECT. APP. BLOCK: 0861 LOT: 005					
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

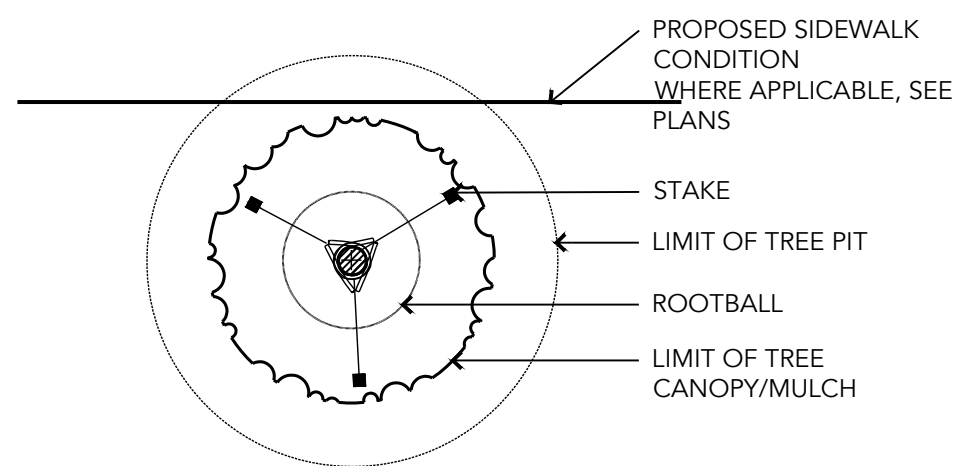
LANDSCAPE ARCHITECT	ELECTRICAL ENGINEER	APPLICANT/DEVELOPER	CIVIL ENGINEER	OWNER
ENVIROCOLLAB LLC 111 E. 25TH STREET, SUITE 1A BALTIMORE, MD 21218 PHONE: 443-956-9278	THOMAS FOULKES LLC MECHANICAL ENGINEERING 1400 MASON STREET BALTIMORE, MD 21217 410.262.1806	SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 (410) 424-7593	CITYSCAPE ENGINEERING, LLC 3600 CLIPPER MILL RD., SUITE 214 BALTIMORE, MD 21211 (410) 601-3290	MAYOR AND CITY COUNCIL 100 N HOLLIDAY STREET BALTIMORE, MD 21202



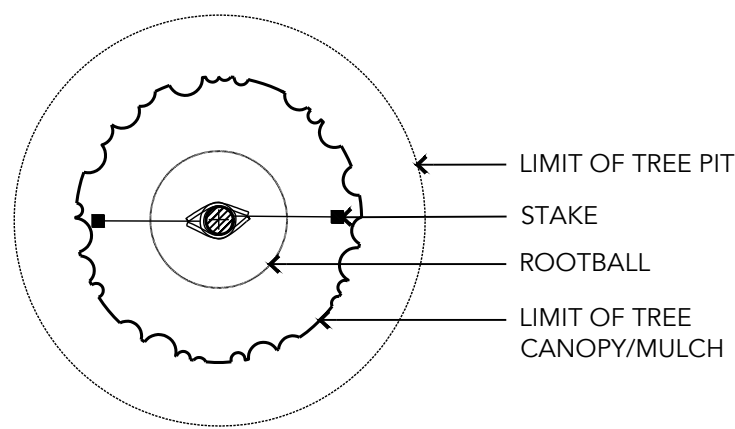
CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS	
L302R	
MITIGATION PLANTING PLAN - ROW	
PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230	
SCALE: AS SHOWN	DATE: 05/01/2025
DWG NAME:	SHEET: 16 OF 18

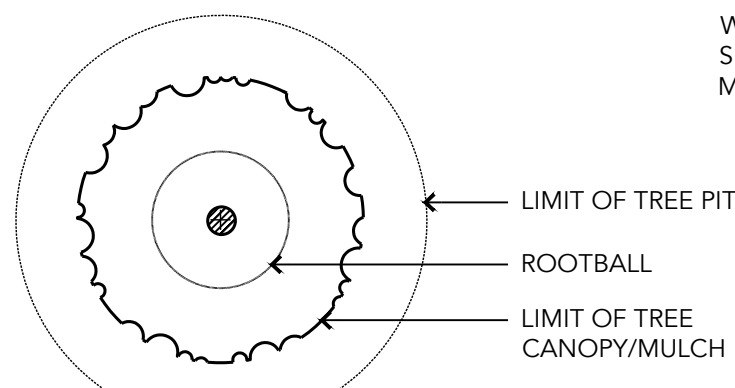




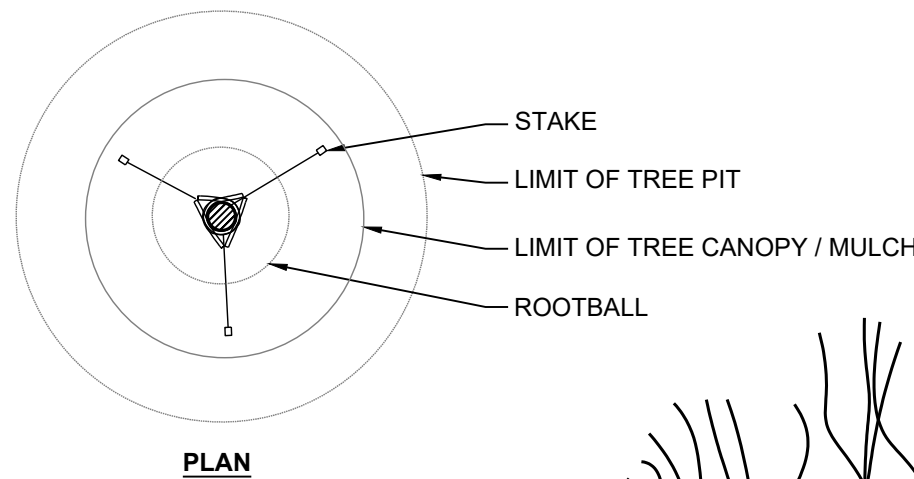
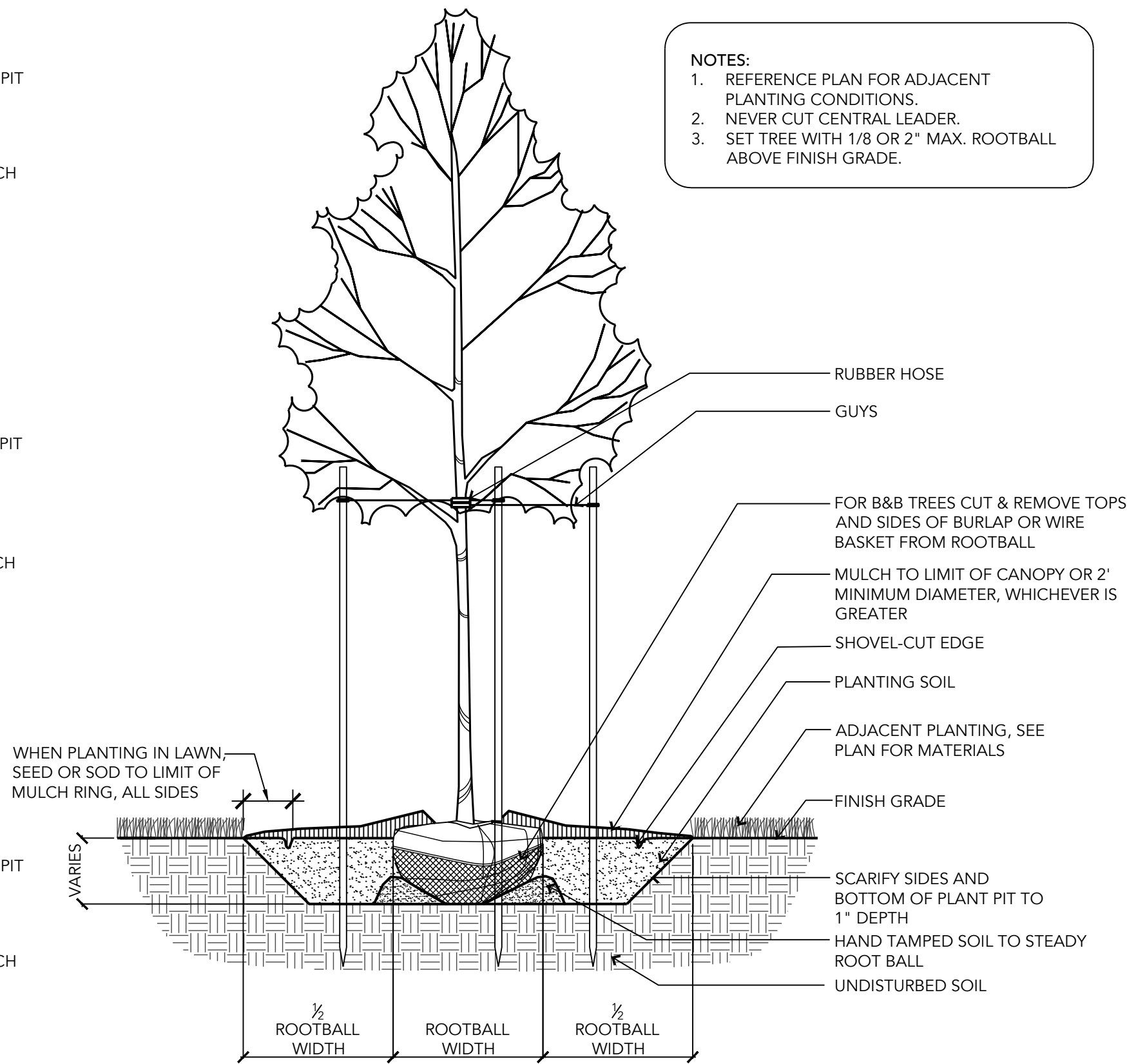
PLAN - GREATER THAN 4", 12' TO 14' HT.



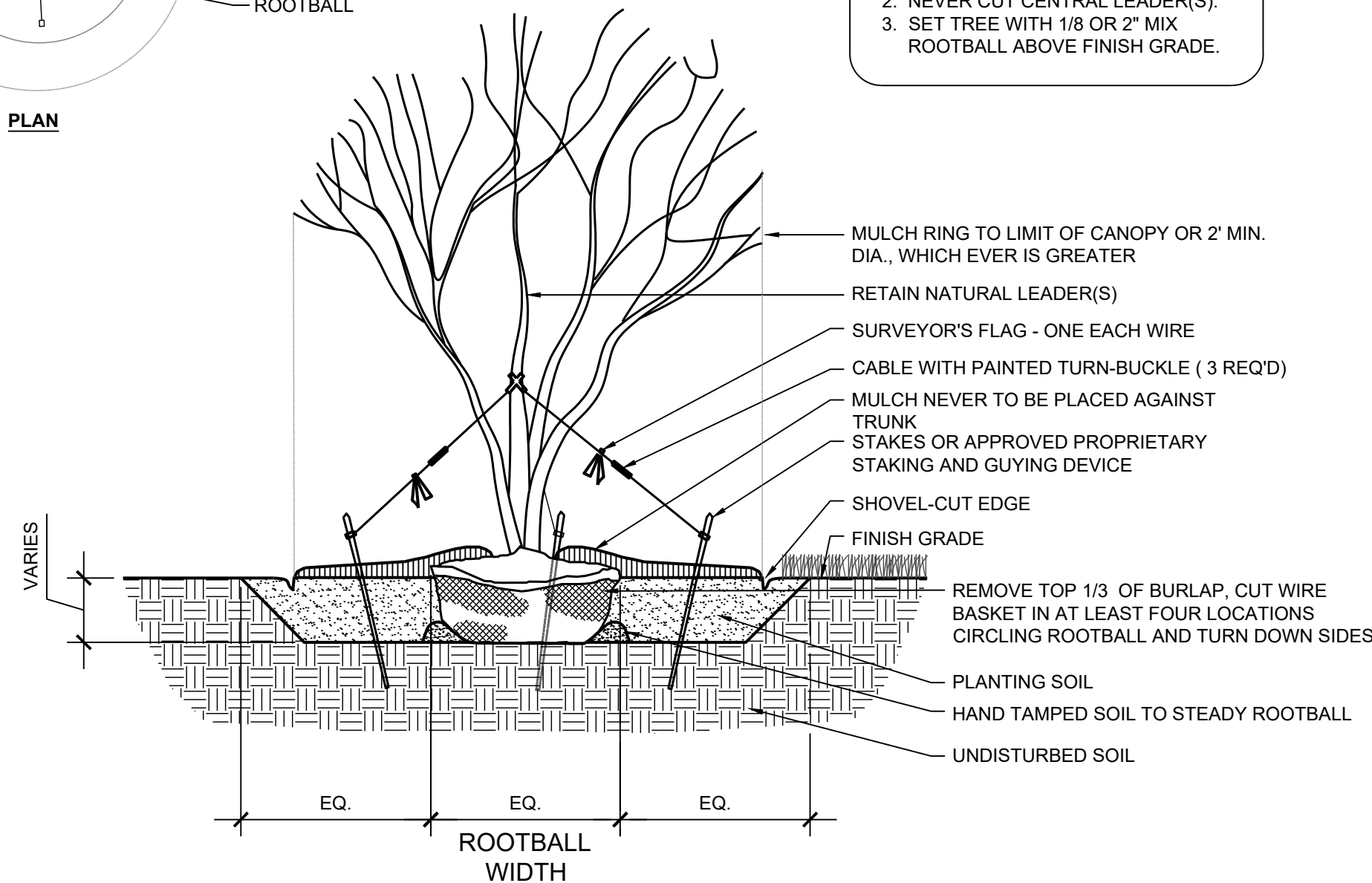
PLAN - 2" TO 4", UP TO 14' HT.



PLAN - UP TO 2"



PLAN

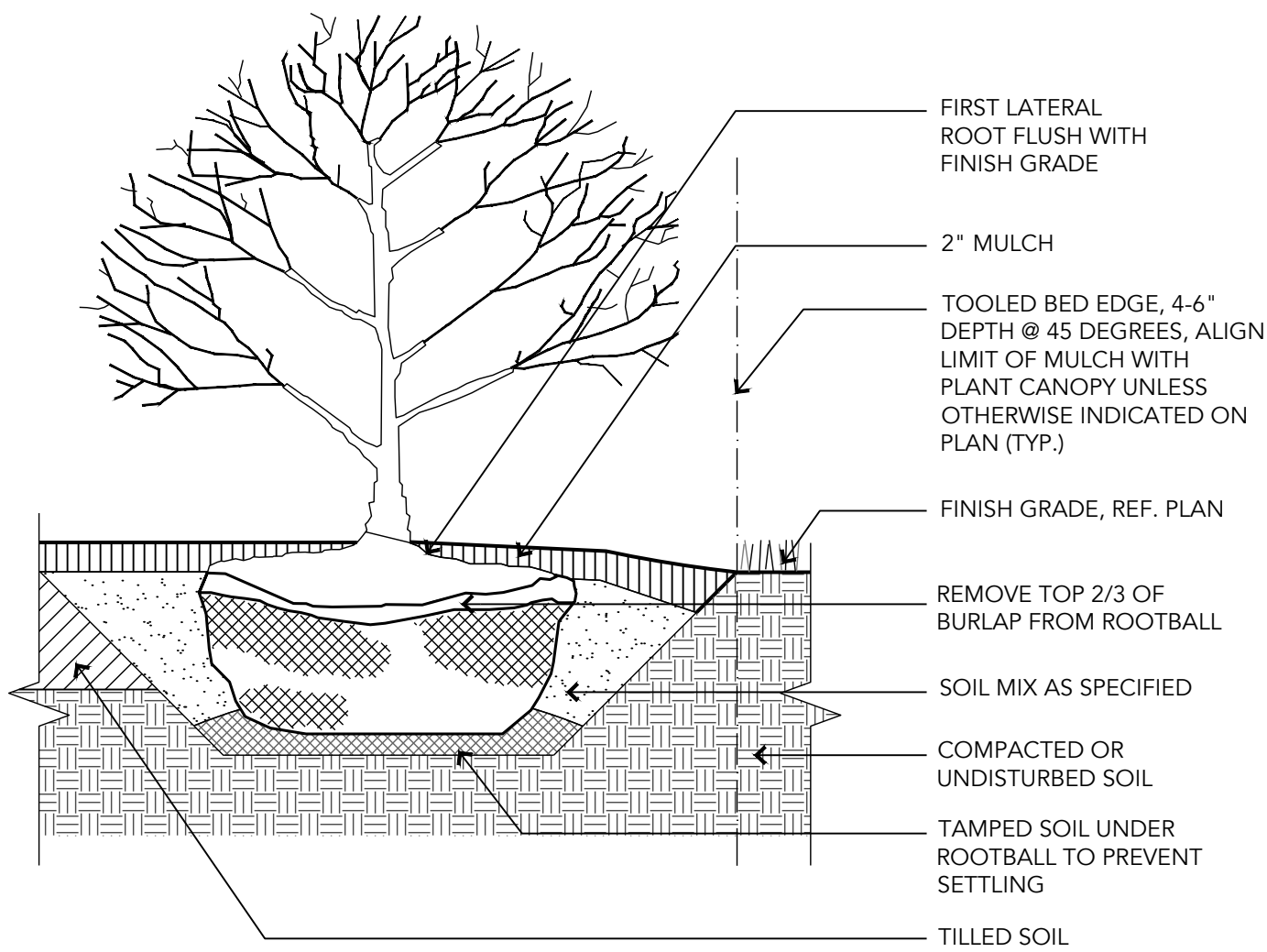


## 1 SINGLE STEM TREE PLANTING

SCALE: 1"= 1/2'-0"

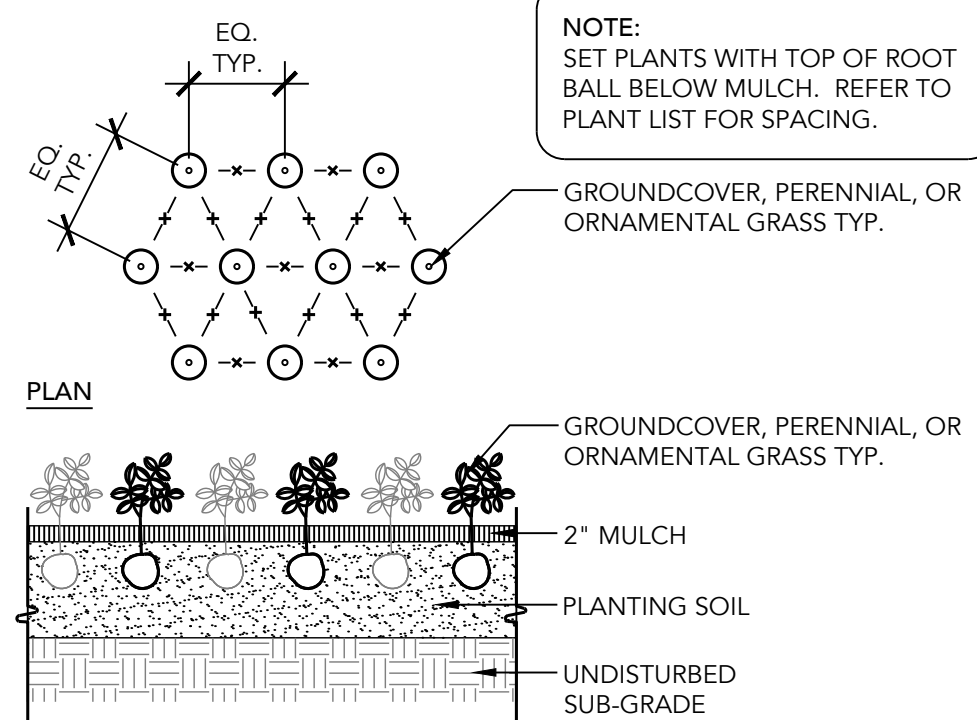
## 2 MULTI-STEM TREE PLANTING

SCALE: 1"= 1/2'-0"




## 3 SHRUB PLANTING

SCALE: 1"= 1'-0"



## 4 HERBACEOUS PLANTING

SCALE: 1"= 1'-0"

		PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.														
		LANDSCAPE ARCHITECT: <u>HEIDI THOMAS</u> LICENSE NUMBER: <u>4064</u> EXP. DATE: <u>11/05/2026</u>					DESIGNED: <u>_CO_HT</u> DRAWN: <u>_CO_PB</u> CHECKED: <u>_HT</u>					WARD: 22 SECTION: 060      SECT.      APP. BLOCK: 0861 LOT: 005				
		BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE	
		BY														
DATE																

LANDSCAPE ARCHITECT ENVIROCOLLAB LLC 111 E. 26TH STREET, SUITE 1A BALTIMORE, MD -21218 PHONE: 443-956-9278	ELECTRICAL ENGINEER THOMAS FOULKES LLC 1400 MASON STREET BALTIMORE MD 21217 410.262.1806	APPLICANT/DEVELOPER SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 (410) 424-7593	CIVIL ENGINEER CITYSCAPE ENGINEERING, LLC 3600 CLIPPER MILL RD., SUITE 214 BALTIMORE, MD 21211 (410) 601-3290	OWNER MAYOR AND CITY COUNCIL 100 N HOLLIDAY STREET BALTIMORE, MD 21202
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CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE
SCALE: AS SHOWN	DATE: 05/01/2025
DWG NAME:	SHEET: 17 OF 18

### CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS

# L401R

PLANTING DETAILS - ROW  
PROPERTY ADDRESS:  
610 W CONWAY STREET  
BALTIMORE, MD 21230



- THESE NOTES SERVE AS A GENERAL GUIDE ONLY. PER CSI SPECIFICATION SECTION 329113 (SOIL PREPARATION); REFER TO STANDARD CSI SPECIFICATIONS SECTIONS 311000 (SITE CLEARING FOR TOPSOIL STRIPPING AND STOCKPILING) AND 329113 (SOIL PREPARATION) FOR DETAILED INSTRUCTIONS ON SITE CONDITIONS, PROTECTION, SOIL STORAGE, TESTING, PRODUCTS AND EXECUTION PROCEDURES.
2. THE CONTRACTOR SHALL ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM PRE-CONSTRUCTION SOIL ANALYSIS ON EXISTING, ON-SITE SOIL AND IMPORTED SOIL. SOIL TEST REPORTS TO PROVIDE: PERCOLATION RATES, PHYSICAL AND/OR FERTILITY ANALYSIS ACCORDING TO SSSA NAPT SERA-6; PRESENCE OF HEAVY METALS. RECOMMENDATIONS FOR AMENDMENTS, INCLUDING NITROGEN, PHOSPHORUS, POTASSIUM, AND MICRONUTRIENTS; FERTILIZER TYPE AND APPLICATION, AND ORGANIC MATTER CONTENT, ACCORDING TO SSSA-5 METHOD OF SOIL ANALYSIS. RECOMMENDATIONS FOR AMENDMENTS TO BE PROVIDED IN WEIGHT PER 1000 SF FOR 6 INCH DEPTH OF SOIL.
3. SOIL MATERIALS TO BE DELIVERED PACKAGED IN ORIGINAL, UNOPENED CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, NAME AND ADDRESS OF MANUFACTURER, AND COMPLIANCE WITH STATE AND FEDERAL LAWS IF APPLICABLE; APPROPRIATE CERTIFICATES TO ACCOMPANY DELIVERY OF BULK FERTILIZERS AND AMENDMENTS.
4. DO NOT DUMP/STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, PAVEMENT, EXISTING TURF OR PLANT AREAS INCLUDING CRITICAL ROOT ZONES OF EXISTING TREES OR AGAINST TREE TRUNKS.
5. BASED ON SOIL TESTING RECOMMENDATION, PROVIDE AMENDED ON-SITE TOPSOIL, IMPORTED OR MANUFACTURED TOPSOIL CONSISTING OF MANUFACTURED BASIC SANDY LOAM MIXTURES TO USDA TEXTURES, BLENDED IN A FACILITY WITH PART C STABILIZED ORGANIC SOIL AMENDMENTS, AND OTHER MATERIALS TO PRODUCE VIABLE PLANTING SOIL. SOIL MUST NOT CONTAIN ANY EXTRANEEOUS MATERIALS THAT COULD BE HARMFUL TO PLANT GROWTH, NOR ANY STONES, ROOTS, ROCKETS OF COURSE SAND, ETC., EXCEEDING 1 1/2 INCHES IN ANY DIMENSION.
6. BLEND AMENDED ONSITE SOIL WITH LOOSE ORGANIC COMPOST TO SOIL RATIO OF 1:4 BY VOLUME.
7. APPLY INORGANIC AND ORGANIC SOIL AMENDMENTS AND FERTILIZERS PER RECOMMENDATION OF QUALIFIED SOIL TESTING AGENCY.
8. FOR EITHER PLACING AND MIXING PLANTING SOIL OVER EXPOSED SUBGRADE, OR PLACING IMPORTED/MANUFACTURED PLANTING SOIL OVER EXPOSED SUBGRADE:
  - 8.1. TILL SUBGRADE TO A MINIMUM DEPTH OF 8 INCHES UNLESS OTHERWISE INDICATED ON SOIL PLAN OR TREE PRESERVATION PLANS;
  - 8.2. APPLY HALF THE THICKNESS OF PLANTING SOIL OVER PREPARED, LOOSENED SUBGRADE, MIXING INTO TOP 4 INCHES OF SUBGRADE;
  - 8.3. SPREAD REMAINDER OF PLANTING SOIL TO TOTAL DEPTH OF 6 INCHES OR AS INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT;
  - 8.4. COMPACT EACH LIFT OF PLANTING SOIL TO 75 TO 82 PERCENT OF MAXIMUM STANDARD PROCTOR DENSITY ACCORDING TO ASTM D698 UNLESS OTHERWISE INDICATED ON DRAWINGS;
  - 8.5. GRADE PLANTING SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE;
  - 8.6. ROLL AND RAKE TO REMOVE RIDGES AND FILL DEPRESSIONS TO MEET FINISH GRADES.
8. IDENTIFY PROTECTION ZONES ACCORDING TO SECTION 015639 (TEMPORARY TREE AND PLANT PROTECTION), AND PROHIBIT PRACTICES IN THESE AREAS SUCH AS STORAGE OF MATERIALS, PARKING VEHICLES OR EQUIPMENT, VEHICLE OR FOOT TRAFFIC, ERECTION OF STRUCTURES, IMPOUNDMENT OF WATER, AND EXCAVATION.
9. IF PLANTING SOIL OR SUBGRADE IS DISTURBED OR CONTAMINATED BY FOREIGN OR DELETERIOUS MATERIALS OR LIQUIDS, REMOVE THE SOIL AND CONTAMINATION, RESTORE SUBGRADE, AND REPLACE CONTAMINATED PLANTING SOIL WITH NEW PLANTING SOIL.
10. IF SUBGRADE IS OVERCOMPACTED, UTILIZE DECOMPACTION METHODS SUCH AS AIR LIFTING, VIBRATING, OR TAMPING, OR SHALLOW AERATION, OR EARTHWORKS, UTILIZING CAUTION IN ALL AREAS OF CRITICAL ROOTS.
11. PROTECT AREAS ADJACENT TO PLANTING SOIL PREPARATION AND PLACEMENT AREA FROM CONTAMINATION. KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
12. REMOVE SURPLUS SOIL AND WASTE MATERIAL INCLUDING EXCESS SUBSOIL, UNSUITABLE MATERIALS, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY UNLESS OTHERWISE INDICATED.

1. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE CONTRACT DOCUMENTS.
2. CONTRACTOR TO PROVIDE SAMPLE PHOTO SUBMITTALS OF PROPOSED PLANT MATERIAL FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
3. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT BEFORE MAKING ANY SPECIES SUBSTITUTIONS OR CHANGES.
4. ALL PLANT MATERIALS SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION. ANY PLANT MATERIAL EXHIBITING A SPINDLY OR LOP-SIDED HABIT OR ANY OTHER FEATURE THAT DETAIRTS FROM ITS HEALTH OR APPEARANCE WILL BE REJECTED.
5. ALL PLANTING OPERATIONS SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.
6. CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS INCLUDING BELOW AND ABOVE GROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE LANDSCAPED AREA PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONDITIONS ARISE IN THE FIELD WHICH NECESSITATE SHIFTING OF THE PLANT MATERIAL, THE LANDSCAPE ARCHITECT IS TO BE CONSULTED PRIOR TO RELOCATION.
8. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING CONDITIONS, INCLUDING PLANTS, TURF, PAVING, AND STRUCTURES DURING PLANTING OPERATIONS. ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS.
9. ALL AREAS DISTURBED BY CONSTRUCTION, GRADING, OR PLANTING OPERATIONS SHALL BE FINE GRADED AND PLANTED PER PLAN. SOD ANY DISTURBED AREAS NOT INDICATED AS RECEIVING PLANTS, PAVING, OR MULCH.
10. PLACE PLANTS DURING LAYOUT FOR BEST APPEARANCE FOR REVIEW AND FINAL ORIENTATION BY LANDSCAPE ARCHITECT.
11. ALL PLANT BEDS SHALL BE CONTAINED WITH A 4" DEEP SPACED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
12. ALL PLANT BEDS AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 2" UNLESS OTHERWISE NOTED ON DRAWINGS OR SPECIFICATIONS.
13. INSTALL HERBACEOUS MATERIAL WITH TOPS OF ROOTBALLS BELOW MULCH, FULLY WITHIN SOIL.
14. FOR B&B TREES, REMOVE TOP 2/3 OF BALL W/IRP. CUT WIRE BASKET IN AT LEAST FOUR LOCATIONS CIRCLING ROOTBALL; REMOVE TOP HALF OF BASKET.
15. DO NOT PLACE MULCH AGAINST TRUNK OF TREES OR SHRUBS.
16. ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE CLEANED UP, REMOVED FROM THE PROJECT SITE, AND DISPOSED OF PROPERLY.
17. STAKES, WIRES, AND HOSES ON TREES SHALL BE REMOVED AFTER ONE YEAR OF ESTABLISHMENT.

## IRRIGATION

ALL PLANTS NEED SUPPLEMENTAL WATER DURING THE FIRST AND SECOND GROWING SEASONS TO ESTABLISH THEIR ROOT SYSTEMS; HOWEVER, A PERMANENT IRRIGATION SYSTEM IS NOT REQUIRED. A GENERAL GUIDELINE FOR ESTABLISHMENT IS TO PROVIDE IRRIGATION AT A RATE OF ONE INCH OF WATER PER WEEK, INCLUDING THAT THROUGH RAINFALL. RECOMMENDED TECHNIQUES TO REDUCE WATER REQUIREMENTS AND APPROVED METHODS FOR THE PROVISION OF WATER SUPPLY TO PLANTS INCLUDE THE FOLLOWING:

1. THE USE AND MAINTENANCE OF DRIP IRRIGATION BAGS OR RINGS AROUND THE TRUNKS OF NEWLY-PLANTED TREES.
2. HAND WATERING, WITH WATER SOURCES PROVIDED THROUGH EITHER OR BOTH OF THE FOLLOWING METHODS:
  - EXTERIOR FAUCETS ON A BUILDING, LOCATED SO THAT THE FARTHEST PLANTING CAN BE REACHED BY A LENGTH OF HOSE (100 FEET RECOMMENDED).
  - A QUICK-COUPING SYSTEM, WITH CONNECTIONS LOCATED SO THAT THE FARTHEST PLANTING CAN BE REACHED BY A LENGTH OF HOSE (100 FEET RECOMMENDED).
  - A WATER TANK OR TRUCK.
3. THE USE OF RAINWATER HARVESTING TECHNIQUES COMBINED WITH THE USE OF HARVESTED RAINWATER FOR LANDSCAPE IRRIGATION IS ENCOURAGED.




REQUIRED LANDSCAPING MUST BE KEPT ALIVE AND HEALTHY TO CONTINUE TO MEET THE REQUIREMENTS OF THE BALTIMORE CITY LANDSCAPE MANUAL AND THE ZONING CODE. PROPER MAINTENANCE AND IRRIGATION MUST BE PROVIDED FOR ALL INSTALLED LANDSCAPING.

THE MAINTENANCE OF PLANTS INSTALLED IS REQUIRED FOR SUCCESSFUL LANDSCAPING. PLANTS CANNOT BE INSTALLED AND LEFT ALONE, ESPECIALLY IN URBAN ENVIRONMENTS WHERE THEY MAY BE SUBJECT TO HIGH TEMPERATURES, HARSH ENVIRONMENTS, AND PHYSICAL ABUSE. GIVEN THE STRESSES AND RIGORS TO WHICH PLANTS ARE SUBJECTED, PLANTS MAY REQUIRE REPLACEMENT. A TWO-YEAR REPLACEMENT WARRANTY IS RECOMMENDED FOR ALL CONTIGUOUSLY INSTALLED PLANTS AND A MAINTENANCE CONTRACT IS ENCOURAGED TO PROMOTE THE ESTABLISHMENT OF PLANTS AND ENCOURAGE PROPER LANDSCAPE MAINTENANCE. BEYOND THE WARRANTY PERIOD, THE CONTINUED MAINTENANCE OF THE LANDSCAPE IS THE RESPONSIBILITY OF THE PROPERTY OWNER FOR THE LIFE OF THE PROJECT.

RECOMMENDATIONS FOR LANDSCAPE MAINTENANCE ARE AS FOLLOWS:

- MAINTENANCE OF LANDSCAPED AREAS INCLUDES, BUT IS NOT LIMITED TO WEEDING, MULCHING, MOWING, TRIMMING, PRUNING, EDGING, CULTIVATION, SEEDING, FERTILIZATION, WATERING, PEST CONTROL, AND ANY OTHER MAINTENANCE NECESSARY TO ENSURE HEALTHY, VIGOROUS PLANT GROWTH AND WELL-KEPT PROPERTY CONDITION.
- LANDSCAPING ELEMENTS SUCH AS WALLS AND FENCES SHALL BE CONSTRUCTED IN A SOUND WORKMANLIKE MANNER WITH ADEQUATE SUPPORT OR FOOTINGS AND MUST BE REPAIRED OR REPLACED AS NEEDED TO PRESERVE AN ATTRACTIVE APPEARANCE AND TO FUNCTION AS INTENDED.
- ANY DEAD PLANTS OR PLANTS WHICH FAIL TO SHOW HEALTHY GROWTH SHALL BE REMOVED AND REPLACED WITHIN 60 DAYS OF IDENTIFICATION OF THE DEFECTIVE HEALTH. REPLACEMENT MAY BE DELAYED UNTIL THE NEXT GROWING SEASON ONLY IF THE 60 DAY PERIOD OCCURS DURING A TIME OF YEAR NOT SUITABLE FOR PLANTING.
- ALL REPLACEMENT PLANTS SHALL MEET THE SIZE AND OTHER CHARACTERISTICS OF NEWLY PLANTED MATERIAL AS OUTLINED IN THESE DOCUMENTS.
- TREES AND LARGE SHRUBS MUST BE ADEQUATELY SUPPORTED, WHEN NECESSARY TO INSURE PROPER GROWTH. IF CONTRACTOR INSTALLED, TREE STAKING MUST BE REMOVED PRIOR TO FINAL INSPECTION, WITH THE EXCEPTION OF PLANTS REPLACED DURING THE WARRANTY PERIOD AND NOT YET ESTABLISHED.
- IT IS DESIRABLE TO AVOID EXCESSIVE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES TO MINIMIZE IMPACTS ON WATER QUALITY. IT IS RECOMMENDED THAT FERTILIZER APPLICATION BE NEED-BASED RATHER THAN AS AN AUTOMATIC COMPONENT OF MAINTENANCE SCHEDULES AND WHEN APPROPRIATE, SLOW-RELEASE OR NATURAL FERTILIZERS BE SELECTED OVER HIGHLY-SOLUBLE CHEMICAL FERTILIZERS.
- APPLICATION OF HERBICIDES AND PESTICIDES SHALL BE PERFORMED BY A CERTIFIED PROFESSIONAL ONLY.
- THE IMPLEMENTATION OF AN INTEGRATED PEST MANAGEMENT (IPM) PROGRAM IS RECOMMENDED TO PREVENT AND TREAT PEST PROBLEMS.

[illegible]

LANDSCAPE ARCHITECT	ELECTRICAL ENGINEER	APPLICANT/DEVELOPER	CIVIL ENGINEER
<p>ENVIROCOLLAB LLC 111 E. 25TH STREET, SUITE 1A BALTIMORE, MD – 21218 PHONE: 443-956-9278</p> 	<p>THOMAS FOULKES LLC MECHANICAL ELECTRICAL PLUMBING 1400 MASON STREET BALTIMORE MD 21217 410.262.1806</p> 	<p>SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 (410) 424-7593</p>	<p>CITYSCAPE ENGINEERING, LLC 3600 CLIPPER MILL RD., SUITE 214 BALTIMORE, MD 21211 (410) 601-3290</p> 

OWNER
MAYOR AND CITY COUNCIL 100 N HOLLIDAY STREET BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION		CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION		
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE	
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS		
APPROVAL RECOMMENDED		
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE	
APPROVED		
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE	

**CONWAY STREET PARK  
RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS**

# L402R

**PLANTING NOTES - ROW**

PROPERTY ADDRESS:  
610 W CONWAY STREET  
BALTIMORE, MD 21230

SCALE:	AS SHOWN	DATE:	05/01/2025
DWG NAME:		SHEET:	18 OF 18